



Elsham Hall, Lincolnshire

Heritage Impact Assessment

Project Reference: 22-036

Produced for Jonathan Hendry Architects

April 2023



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ACKNOWLEDGEMENTS

This survey was commissioned by Jonathan Hendry Architects and thanks are due in this regard. The report was written by Tom Street, Robert Templar and Brixie Payne and verified by Adam Partington of Marrons.

EXECUTIVE SUMMARY

In August 2022, Locus Consulting Ltd., now Marrons, were commissioned by Jonathan Hendry Architects, to compile a Heritage Impact Assessment to accompany an application for planning permission and listed building consent for development at Elsham Hall, Elsham, North Lincolnshire.

The proposed scheme includes a programme of repairs and alterations to the existing courtyard outbuildings, the demolition of modern garages, the construction of a lean-to greenhouse and construction of a single storey rear extension intended to house a garden room and swimming pool. The proposed extension has a roughly L shaped Plan with the swimming pool oriented east/west and positioned partially within a sunken wash yard.

This assessment considers the direct and indirect impacts of the proposed development upon the significance of known and potential designated and non-designated heritage assets. One designated heritage asset was identified within the Site boundary with the potential to be both directly and indirectly impacted by the development, the Grade II* listed Elsham Hall. No other designated or non-designated heritage assets in the search area would be indirectly impacted by the proposals in principle.

While the Site works will impact primarily on existing built features of Elsham Hall and previously disturbed soils, there is anticipated to be limited disturbance into a horizon that predates the post Medieval period. There is a high potential to encounter post Medieval remains of local interest and a low potential to encounter Medieval and post Medieval remains of a regional level of interest. The likelihood of the proposed development impacting on remains of greater than regional interest is, therefore, low. The level of detail about the archaeological resources provided within this report is considered sufficient for the purposes of determining the application for planning permission.

The scheme's direct impacts are concentrated on the largely 18th century wash yard, where the bulk of the swimming pool will be positioned, and will result in less than substantial harm at the low end of the scale to the significance of Elsham Hall. The harm would be mitigated by the retention of the southern portion of the wash yard and the existing access doors to the cellar range and should be balanced against the benefits of the proposal. The works will provide complementary recreational facilities for the current occupants, ameliorate the appearance of the concrete slabs and mismatched brickwork over the cellars, secure the long term conservation of retained historic fabric and contribute to a greater sense of enclosure to the rear service yard.

The scheme of works to the outbuildings is of a generally minor nature. The proposed repairs would bring them back into active use consistent with their conservation and have a beneficial impact on their condition. The most significant change proposed is the demolition of the modern garages, but these are of no architectural or historic interest and their demolition would not bring about the loss of historic fabric. The works to the courtyard outbuildings would therefore have a neutral impact on their significance as curtilage listed structures and would have a neutral impact on the setting and significance of Elsham Hall itself.

Overall the scheme will result in less than substantial harm at the low end of the scale to the significance of Elsham Hall. The impact of this has been mitigated and minimised as far as possible through design and would be clearly and convincingly outweighed by the benefits of the proposal. The works provide complementary recreational facilities for the current occupants, ameliorate the

appearance of the concrete slabs and mismatched brickwork over the cellars, secure the long term conservation of retained historic fabric and contribute to a greater sense of enclosure to the rear service yard. As such it is considered that the scheme should be viewed favourably in the planning balance.

In bringing about a less than substantial degree of harm, at the low end of the scale, to the significance of the Grade II* Elsham Hall, the proposed extension does not wholly align with the objectives set out in Sections 16 and 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990, Paragraph 189 of the NPPF, Policy CS6 of the North Lincolnshire Council Core Strategy (Adopted June 2011) and saved Policies HE5 and HE9 of the North Lincolnshire Local Plan (Adopted May 2003).

However, accounting for the benefits of the proposed scheme of works and bearing in mind the specific wording of Paragraph: 020 Reference ID: 18a-020-20190723 of the national PPG, a modest degree of positive weight should be afforded to the public benefits of the scheme in the planning balance in accordance with Paragraph 197 of the NPPF.

In accordance with Paragraph 200 of the NPPF, the less than substantial degree of harm arising from the proposals has been clearly and convincingly justified and would be outweighed by the public benefits of the scheme.

1 INTRODUCTION

1.1 PROJECT BACKGROUND

1.1.1 In August 2022, Locus Consulting Ltd., now Marrons, were commissioned by Jonathan Hendry Architects, to compile a Heritage Impact Assessment to accompany an application for planning permission and listed building consent for development at Elsham Hall, Elsham, Brigg, North Lincolnshire, DN20 0QZ, at National Grid Reference TA 03100 12030, henceforth referred to as “the Site”.

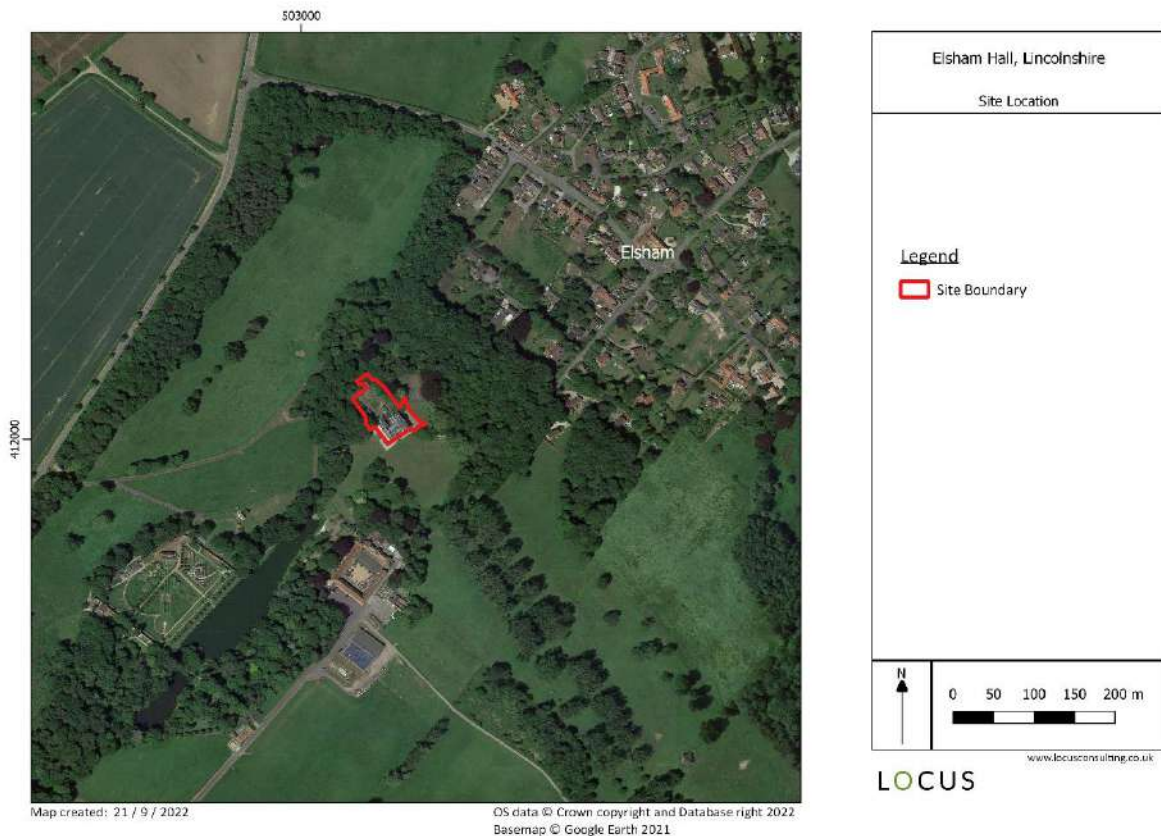


Figure 1: Site location

1.1.2 This assessment considers the known and potential historic environment resources within the Site and its environs and any potential impacts which may be imposed upon them by the proposed development. For a full assessment methodology, please see Appendix 1: Assessment Methodology.

1.2 THE SITE

LOCATION AND TOPOGRAPHY

1.2.1 The Site is located in northern Lincolnshire, ca. 10.5km south of the Humber, ca. 13km east of the centre of Scunthorpe and ca. 14.5km north-west of the Lincolnshire Wolds Area of

Outstanding Natural Beauty (AONB). The Site is situated close to two main roads, the A15 to the north and the M180 to the south.

- 1.2.2 The Site sits just to the south-west of the village of Elsham, separated from the settlement by a dense plantation of trees. The immediate surroundings of the Site include the designed park and garden setting to the hall. The wider setting of the Site and the village of Elsham itself consists of fields largely in agricultural use.
- 1.2.3 The Site itself is ca. 0.3 hectares in size and is roughly rectangular in shape. It mainly consists of Elsham Hall to the south and associated outbuildings and open courtyard space to the north. It is bounded by dense tree plantation on the northern, western and eastern sides, and open garden space to the south. To the south-east of the site is a fine detached orangery (Figure 2).

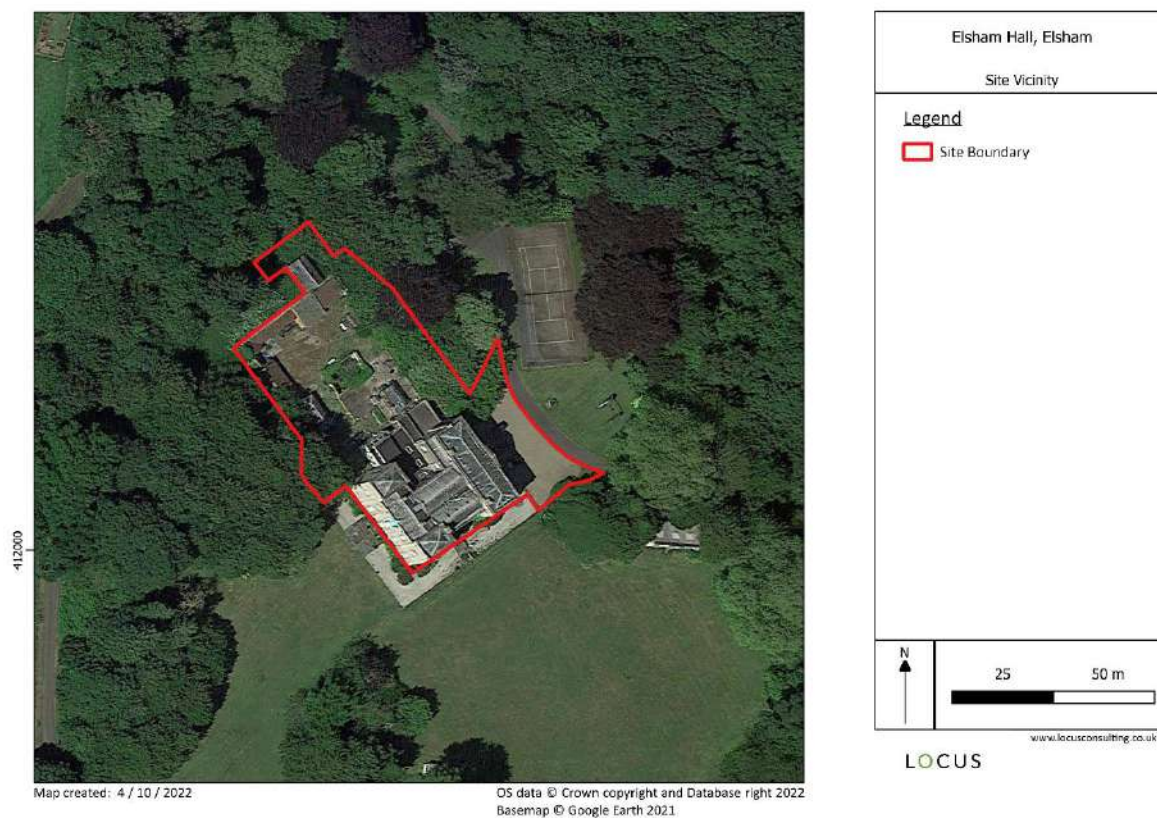


Figure 2: Site Vicinity

GEOLOGY

- 1.2.4 The Site sits within the Kimmeridge Clay Formation – Mudstone, sedimentary bedrock formed between 157.3 and 152.1 million years ago during the Jurassic period. There are superficial deposits of Sutton Sand Formation – Sand, a sedimentary superficial deposit formed between 116 thousand years ago and the present during the Quaternary period (British Geological Survey, 2022).

LANDSCAPE CHARACTER

National Character Areas

1.2.5 The Site is location on the boundary of the Lincolnshire Wolds (NCA 43) and Central Lincolnshire Vale (NCA 44) National Character Areas as defined by Natural England. The following summaries are extracted from the relevant National Landscape Character Assessments.

NCA 43: Lincolnshire Wolds

1.2.6 *The Lincolnshire Wolds National Character Area (NCA) is a long, narrow band of rolling agricultural land dominated by a west-facing chalk escarpment approximately 50 m high. The area is characterised by a range of varied yet unified features including open, arable plateau hill tops, chalk escarpments, deep dry valleys with sinuous beech woods and isolated ash trees punctuating the skyline. The area is sparsely settled with many villages hidden within the folds of the landscape and modest country houses and farmsteads.*

The landscape of the Wolds is strongly influenced by the underlying geology and the later glacial action that reshaped it. The solid geology is largely made up of a sequence of sandstones, clays, sandy limestones, ironstones and chalk deposited between 155 and 95 million years ago during the late Jurassic and Cretaceous periods. The chalk is capped in places by glacial deposits, while glacial meltwater channels have carved away parts of the Wolds to leave steep valleys. To the south-east, the overlying glacial till creates a rounded edge to the Wolds, and towards the southern end the chalk cap has been removed to reveal the Lower Cretaceous sands, clays and ironstones which form a series of low hills with gravel terraces. A variety of local materials, some of which are used as building material, are found across the area including sandy limestone, sandstone, ironstone and chalk, with striking red chalk being notable.

The soils closely reflect the underlying geology. Shallow, lime-rich soils predominate across the chalk plateau but many valley bottoms have lime-rich loamy soils. Sandy loams and heavier clay soils and localised wet areas in valleys reflect local sandstone geology and Jurassic Kimmeridge Clays.

Woodland cover is generally sparse but the trees and woods remain an important component of the landscape. The open skies and long views add to the character, creating an area recognised as a place of tranquillity and inspiration.

Sixty-two per cent of the area lies within the nationally protected landscape of the Lincolnshire Wolds Area of Outstanding Natural Beauty, which was designated in 1973 in order to conserve and enhance the natural beauty, outstanding views and tranquillity.

The NCA is an important food producing area and consists of a commercially farmed, predominantly arable landscape. Seminal habitats cover only a small area and are often under pressure. There is a nationally important assemblage of farmland birds which include skylark, lapwing, turtle dove and tree sparrow.

The chalk aquifer is one of the main aquifers of the East Midlands, providing a major regional resource of freshwater. The resulting springs and chalk streams and interconnected blow wells found throughout the Lincolnshire Wolds provide a nationally important wildlife habitat.

The Lincolnshire Wolds are generally sparsely populated, with villages predominantly lying hidden at the foot of the slopes. Only a few small towns, such as Barnetby, Spilsby and Caistor, are found within the Wolds with the larger market towns such as Louth and Horncastle located on the periphery of the NCA. These settlements have all retained much of their historic built character.

The Wolds is a treasure trove of heritage dating back many thousands of years. There are many ancient burial sites with monuments including Neolithic long barrows and bronze-age round barrows. There is also evidence of Roman occupation and a number of Roman roads are still in use. An interesting aspect of the historic environment is the high concentration of deserted medieval villages and the remains of these are often still visible in the landscape. There are over 100 abandoned settlements, representing one of the highest concentrations in the country. Remnants of ridge and furrow can also be seen, showing a legacy of medieval ploughing and cultivation in an open field system. Another aspect of the historic environment is numerous moats indicating a defensive purpose such as the medieval moated site at Brinkhill.

The area has inspired many artists, writers and poets including Tennyson, the 19th-century Poet Laureate, who came from Somersby. This part of Lincolnshire attracts increasing numbers of visitors and a variety of cultural and community activities continue today in celebration of the Wolds' rich local heritage. The Viking Way long-distance footpath passes through the Wolds as does the National Cycle Network (Natural England, 2015).

NCA 44: Central Lincolnshire Vale

- 1.2.7 *The Central Lincolnshire Vale National Character Area's (NCA's) tranquil, rural and sparsely settled landscape is largely used for agricultural production, mainly for the growing of arable crops, principally cereals. This is in spite of historically challenging soils and conditions. Its dominant 'boulder clay' derived soils underlain by mudstone bedrock lead to seasonably waterlogged conditions which, under natural unmodified conditions, support wet grasslands and woodlands; however, a history of agricultural improvement along with modern machinery and agrochemicals have transformed the land and vastly increased its productivity.*

An imperceptible rise in landform across the centre of the NCA means that the northern half drains north into the River Ancholme and out to the Humber, while the southern end drains into the River Witham and The Wash. Most of this natural drainage pattern has been straightened, deepened and confined within steep embankments and the land drained – especially north towards the Humber. In contrast, pockets of wind-blown sand deposits (the Coversands) and river-derived sands and gravels (the Fen Edge Gravels) have led to localised contrasting landscapes where soils are sandy, acidic and infertile and heathland habitats are found along with some extensive coniferous plantations.

The Vale formed part of the ancient Anglo-Saxon kingdom of Lindsey (meaning 'island of Lincoln') which was almost cut off from neighbouring land by the Humber, The Wash and extensive wetlands between, with the only easy land access being along Ermine Street on the

narrow Lincolnshire Limestone ridge, where Lincoln has been the key settlement of the wider area since Roman times. Access to the city and the sea via the River Witham has had important influence and led to a cluster of medieval settlements and monastic sites near to its course. The Vale still retains a sense of remoteness enhanced by its thinly scattered population and general lack of development and major roads and one of its key ecosystem services is the tranquillity of its landscape. The low, open nature of the land means that skies are expansive and relatively free of light pollution.

Other key ecosystem services include its biodiversity resource which, despite being very limited overall, provides clusters of value, perhaps most notably but not exclusively in the Bardney Limewoods National Nature Reserve which provides the greatest concentration of original wildwood left in the country. The recreational potential of the area is also important because of the Vale's close proximity to Lincoln and also the Lincolnshire Wolds Area of Outstanding Natural Beauty, of which a small part extends into the area. Provision of food is a very important function of the NCA. A key challenge for the Vale is balancing agricultural and forestry production with the enhancement of other ecosystem services such as the regulation of water quality (Natural England, 2013).

HISTORIC LANDSCAPE CHARACTER

- 1.2.8 The Site lies within the WOL2 The Caistor Spring-Line Historic Landscape Characterisation Area. The following summary is extracted from the relevant Historic Landscape Character Assessment (English Heritage and Lincolnshire County Council, 2011).

Description

The character zone includes a line of small nucleated settlements, starting with Nettleton in the south and terminating with South Ferriby in the north. To the north they are situated on the B1204 road, approximately following the 20m contour line. While the settlements are fairly small, they do have much more modern development within and around them than those settlements elsewhere in the Wolds Character Area, perhaps because of their proximity to Scunthorpe and Grimsby. Traditional buildings are typically brick-built with pantile roofs. Many buildings in the north are whitewashed. Settlement cores are generally well defined and well preserved with modern developments limited to the edges. Away from the villages there are many examples of isolated farmsteads. These are typically found on the plateau at the top of the slope and are set among large areas of rectilinear fields. Much of the farmland in this zone is the result of modern boundary removal, resulting in large irregularly shaped fields. Many examples of modern consolidated fields occur on the top of the scarp, which gives this zone an open character. There are older enclosures throughout the character zone which are typically small with irregular shapes. These are often used as grazing land for livestock, or as paddocks for horses, and are typically found adjacent to the nucleated settlements in the zone. There are small to medium sized areas of woodland throughout the character zone, which appear to be predominantly eighteenth- and nineteenth-century plantations. There are several areas of sinuous narrow woodland, which may have once formed part of the boundary of small landscape parks. There is at least one former park in the zone. There are two former military airfields within this character zone both of which retain enough of their military character to confidently be assigned to the 'Military' broad type. The technical site at the former RAF

Elsham Wolds is now an industrial estate and the airfield has reverted to agricultural land, but the lines of the runways and some taxiways are still visible. The perimeter track at the site of the former RAF Caistor is still visible, as are the three ‘Thor’ ballistic missile launch pads dating from the early 1960s.

1.2.9 Historic Landscape Evolution

There is evidence for occupation of the zone during the early medieval period. Estates with the names of many of the current settlements are mentioned within the Domesday survey. It is likely that any settlement associated with these estates was located in the vicinity of the present historic settlement cores within the zone. Much of the zone was subject to planned enclosure of the open fields and commons in the eighteenth and nineteenth centuries. This new fieldscape was subsequently populated by isolated farmsteads occupied by the owners of the newly enclosed fields. Both of the airfields within the character zone were established during the Second World War. RAF Elsham Wolds was closed at the end of the war and partially returned to agricultural use before the site was developed as an industrial estate in the 1970s. RAF Caistor was used as a nuclear missile base between 1958 and 1963, before reverting to agricultural use. The post Second World War period also saw the consolidation and enlargement of many of the fields within the character zone by the removal of some of the field boundaries.

1.2.10 Legibility

Elements of the medieval landscape can still be seen in the survival of the settlement pattern and the long east to west orientated field and parish boundaries. The historic settlement cores still retain some of their historic character, but in some cases the scale of modern development reduces the legibility of the historic core. The widespread survival of planned enclosure and isolated nineteenth-century farmsteads across the character zone are survivals from the late post medieval period. Modern fields, which have been primarily formed from the loss of boundaries of older field patterns, often retain significant legibility through their external boundaries. The legibility of the former military airfields within the character zone is evident in the good survival of many of their Second World War elements, despite the airfields having gone out of use.

1.2.11 The Site is currently located within the Country House Historic Landscape Characterisation Type, as defined by North Lincolnshire Council and is surrounded by Estate Woodland (Figure 3).

1.2.12 Previous HLC types within and surrounding the Site (Figure 4), are almost entirely strip fields, with a Medieval moated complex approximately 560m south of the Site. Further afield is heathland approximately 750m to the south, and 870m to the northeast. The map also shows the progression of enclosure in the strip fields and heathland in the landscape surrounding the Site.

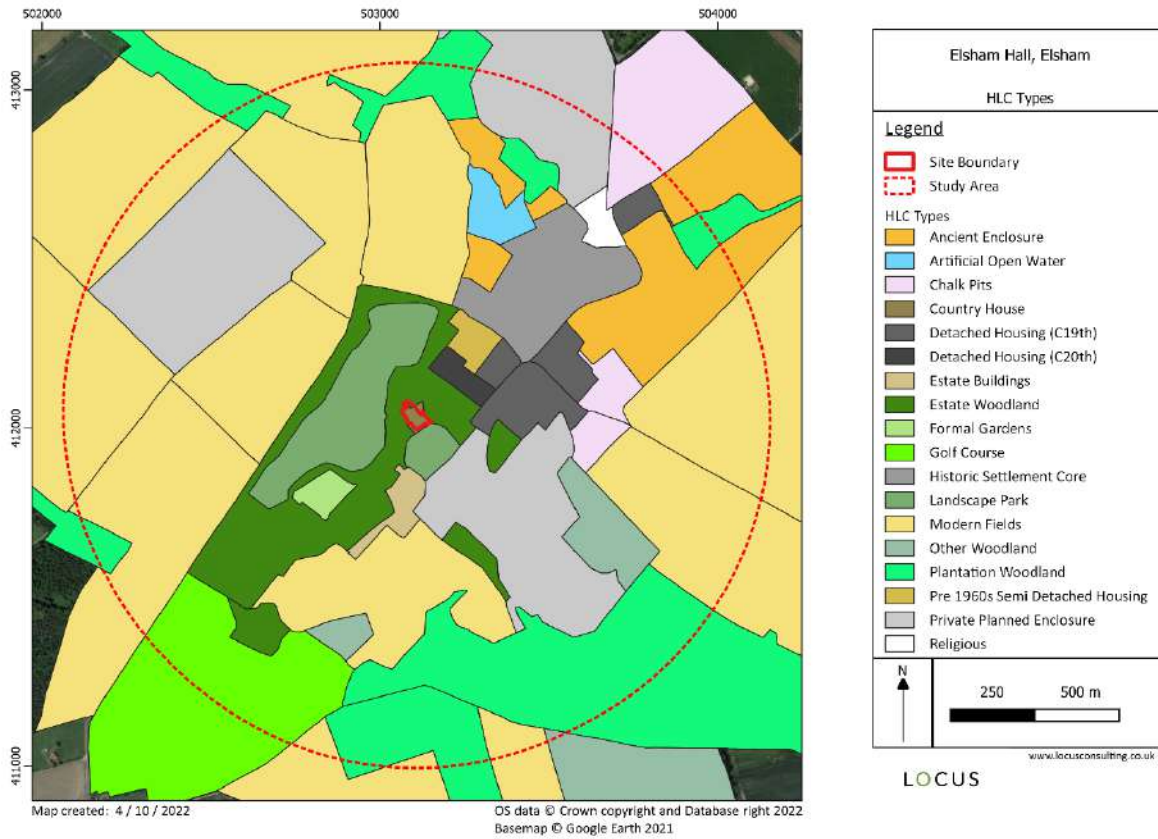


Figure 3: Historic Landscape Character Areas

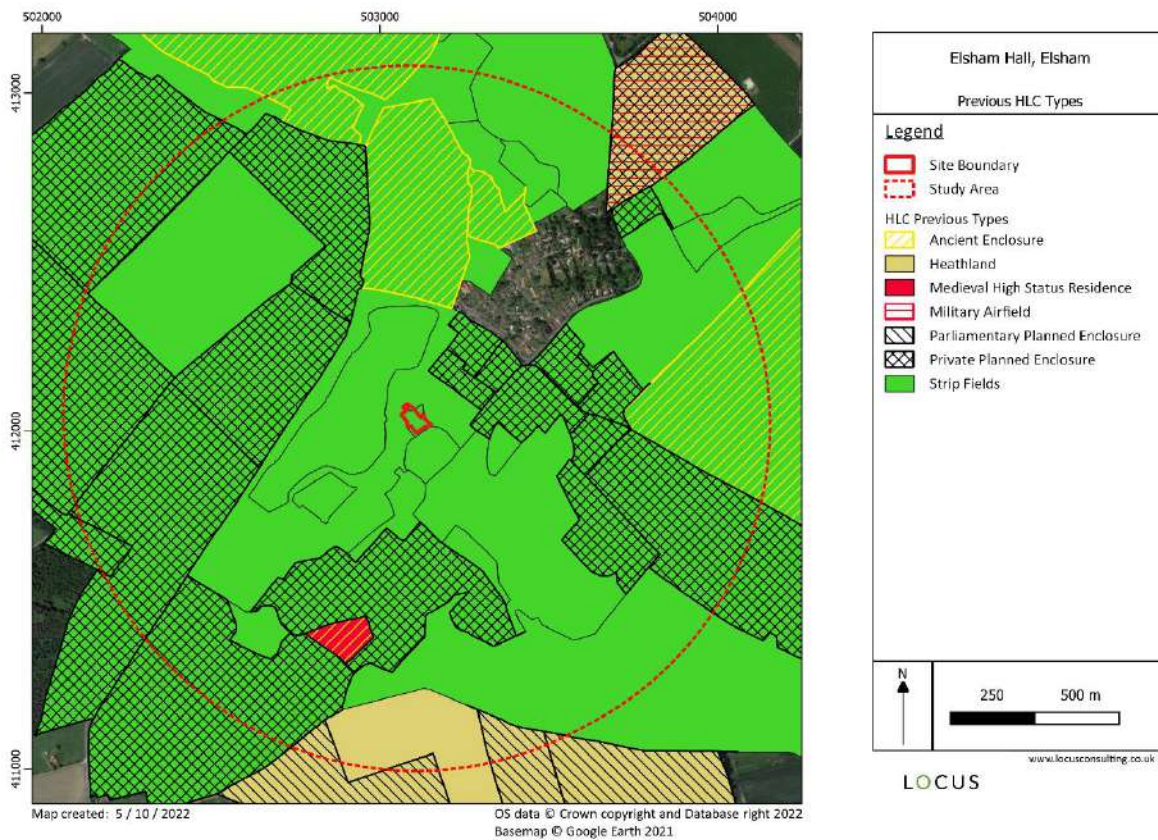


Figure 4 Previous Historic Landscape Character Areas

1.3 PROPOSED WORKS

1.3.1 The proposed scheme includes a programme of repairs and alterations to the existing courtyard outbuildings, the demolition of modern garages, the construction of a lean-to greenhouse and construction of a single storey rear extension intended to house a garden room and swimming pool. The proposed extension has a roughly L shaped Plan with the swimming pool oriented east/west and positioned partially within the sunken wash yard. A garden room is positioned alongside the existing boiler room and accessed from the east corridor on the ground floor of the Hall. A raised terrace is provided by re-landscaping the existing concrete capping over the cellars. The retained element of the wash yard will allow all of the cellars to remain accessible.

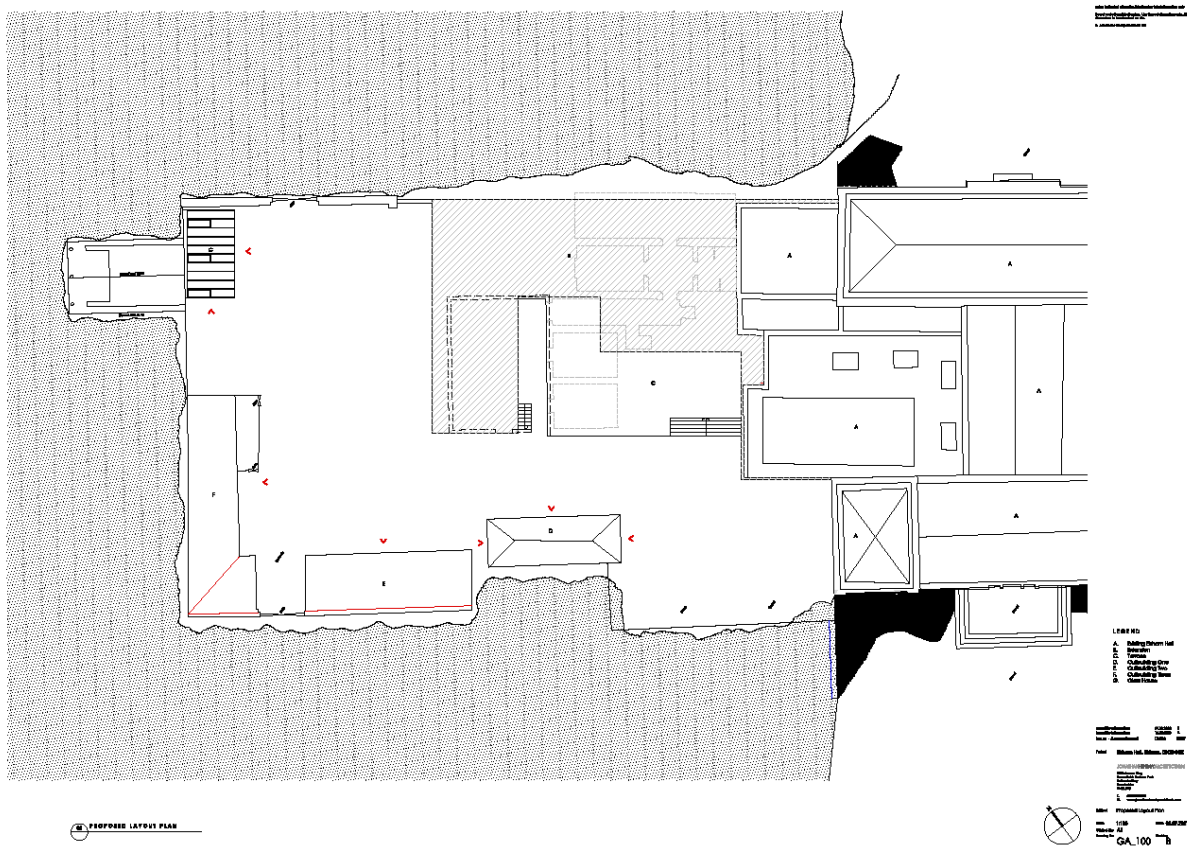


Figure 5: Proposed layout plan

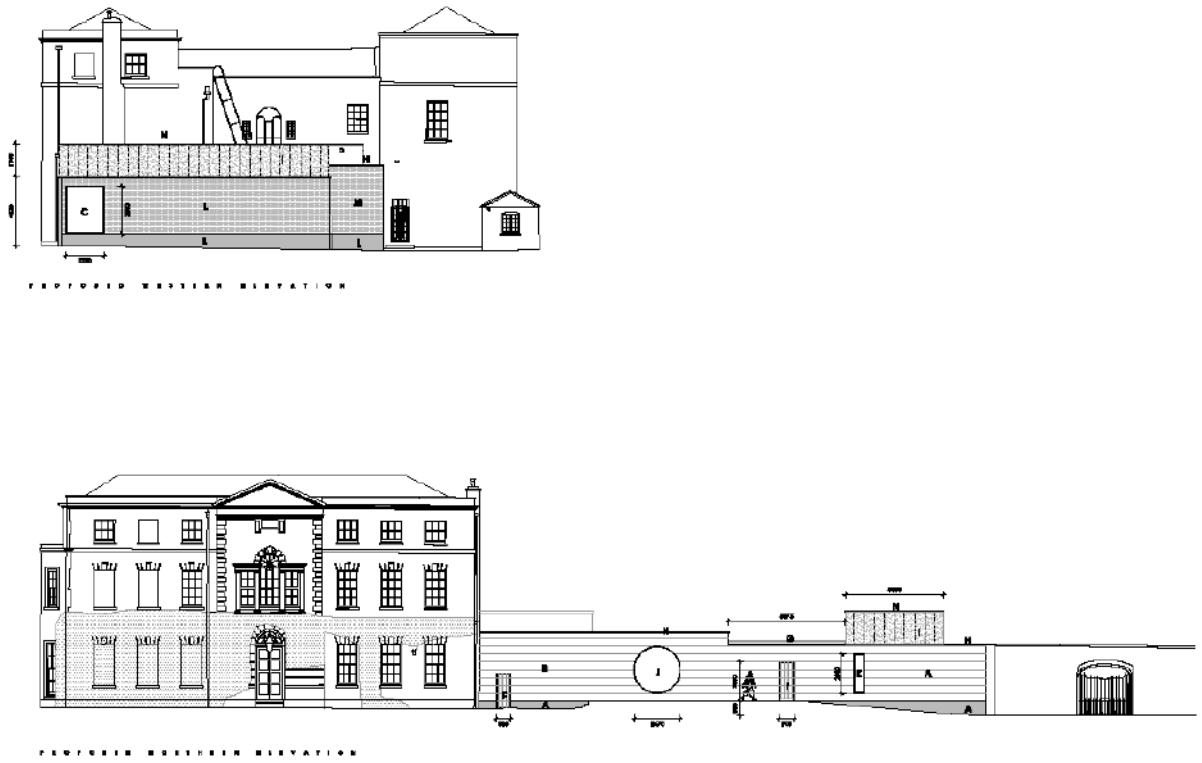


Figure 6: Proposed western (top) and northern (bottom) elevations

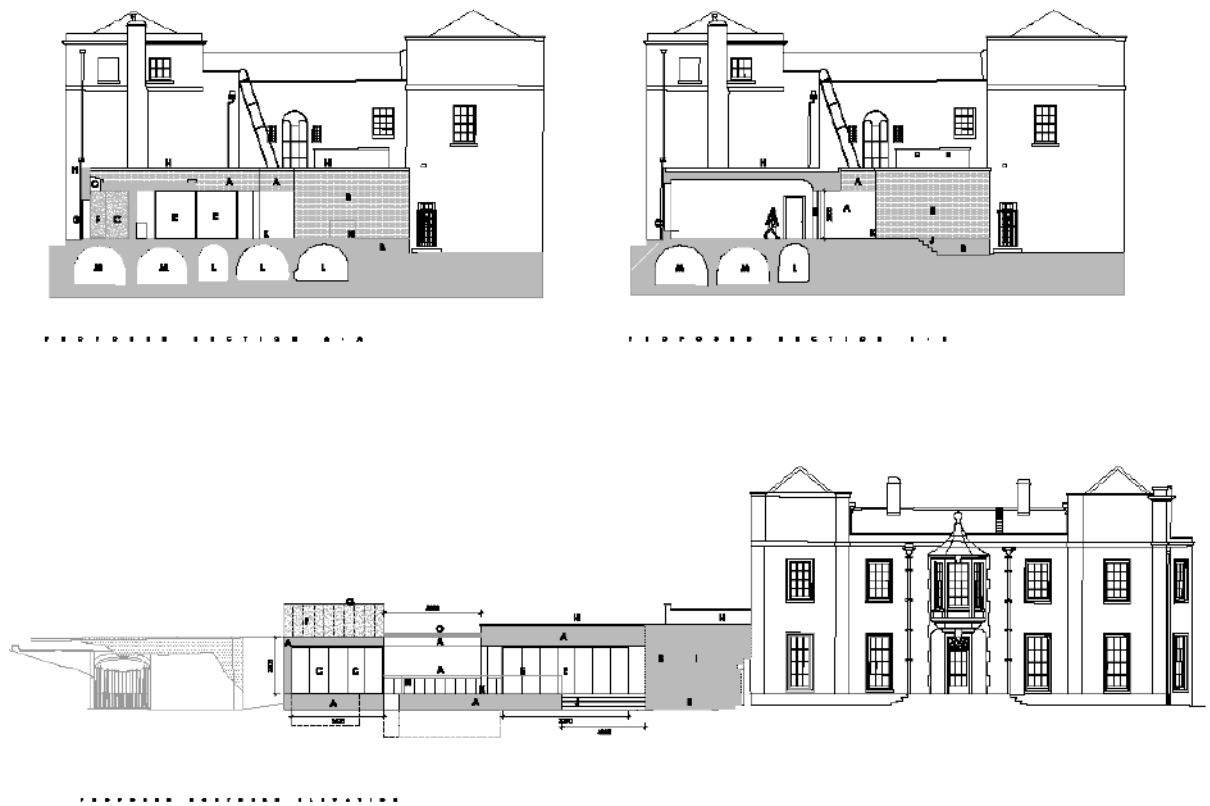


Figure 7: Proposed sections (top) and southern elevation (bottom)



Figure 10: Proposed elevation study

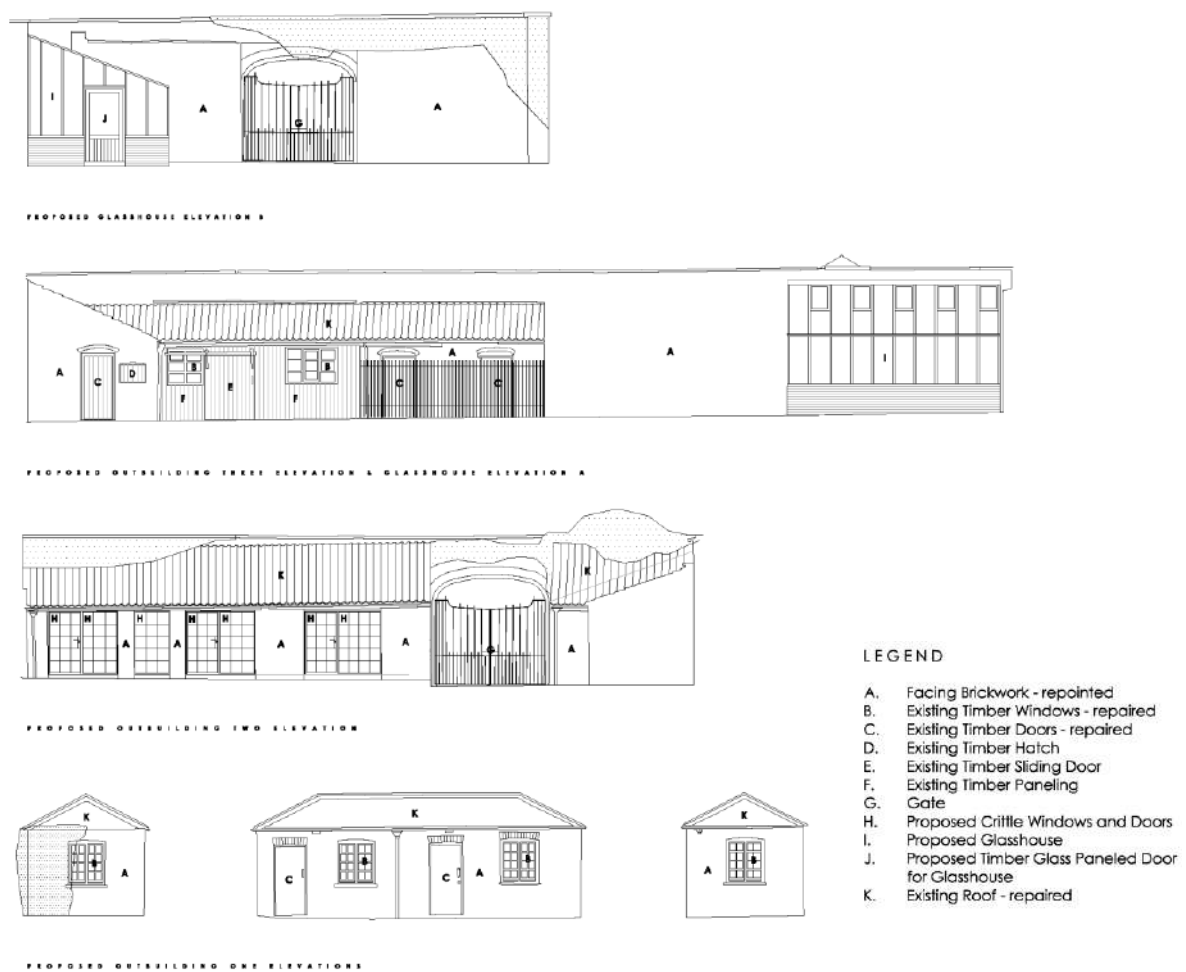


Figure 11: Proposed works to courtyard outbuildings

1.3.2 For full details of the proposed development, please refer to the application submission documents.

1.4 SCOPE OF STUDY

- 1.4.1 The scope of this study is proportionate to the proposed works and does not constitute a comprehensive statement of the significance of designated or non-designated heritage assets. Nonetheless, and by way of context to current and future development proposals, the report provides a thorough understanding of the significance of designated and non-designated heritage assets potentially impacted upon by the development of the Site.
- 1.4.2 The objectives of this study are to:
- Assess the potential for the survival of archaeological remains within the proposed development Site, including their likely condition, extent and significance;
 - Identify designated and non-designated heritage assets that might be directly or indirectly impacted upon by the proposed development;
 - Describe the heritage significance of designated and non-designated heritage assets that might be directly or indirectly impacted upon by the proposed development;
 - Assess the degree of impact of the proposed development upon the significance of heritage assets;
 - Review the impact of the proposed development in respect of the prevailing framework of policy and legislation.
- 1.4.3 Online resources were consulted where available and included (but were not limited to):
- National Heritage List for England, an up-to-date list of Designated Heritage Assets, excluding Conservation Areas (<https://historicengland.org.uk/listing/the-list/>)
 - The National Library of Scotland (<https://maps.nls.uk/geo/>) for a range of maps from 1851 to the present day
 - Historic England Archives Image and Book Collection (<https://historicengland.org.uk/images-books/>)
 - Open Domesday, a free online copy of the Domesday Book (<https://opendomesday.org/>)
 - Key to English Placenames, an up-to-date guide to the interpretation of the names of England's cities, towns and village held by the University of Nottingham (<http://kepn.nottingham.ac.uk/>)
- 1.4.4 Materials were only reproduced where copyright allowed, with full reference to online or other resources provided where applicable.
- 1.4.5 For a complete list of references and sources consulted, please see Section 4 and Appendix 1.
- 1.4.6 A Site visit was undertaken on 22nd September 2022. The weather was dry and alternated between bright sunshine and light cloud with moderate to high shadow and moderate to high contrast.

1.5 PLANNING BACKGROUND

LEGISLATION AND NATIONAL POLICY

- 1.5.1 There is national policy and guidance relating to the protection and treatment of the historic environment within the planning process. These identify the historic environment as a non-renewable, fragile, and finite resource and place priority upon its conservation. This includes the setting out of appropriate assessments to ensure damage or loss to the resource is permitted only where it is justified.
- 1.5.2 The National Planning Policy Framework (NPPF), published in 2012 and last updated in 2021, sets out the UK Government’s requirements for the protection and enhancement of the historic environment, and should be read in conjunction with the accompanying Planning Policy Guidance (PPG). The national policy relevant to this assessment is detailed in Appendix 2.

LOCAL PLANNING POLICY

- 1.5.3 Local planning authorities are responsible for implementing the requirements articulated by legislation and the NPPF as regards the protection of the historic environment on a local level, and the formulation of policies to support this obligation. The Site and its environs are located within the jurisdiction of North Lincolnshire Council, which is currently subject to policies set out within Appendix B.

PLANNING HISTORY

- 1.5.4 Planning and consent applications pertaining to the site as supplied by North Lincolnshire Council as part of the Pre-Application Advice Note (PRE/2022/80):

Reference Number	Proposed Works	Date	Decision
PA/2020/1140	Application under the Overhead Lines (Exemption) (England & Wales) Regulations 2009 to erect an 11 kV overhead line re-build between Worlaby, Elsham and Wrawby	28.08.2020	No objection from LPA
PA/1997/0795	Listed building consent to erect an extension and carry out alterations to provide single storey living accommodation including the demolition of disused outbuilding	June 1998	Approved
PA/1997/0790	Erect a single storey extension to hall to provide self contained living accommodation	20.04.1998	Approved
7/1993/0090	Retain buildings as garden centre / nursery and the erection of a greenhouse	01.04.1993	Approved

LBC/1988/0409	Listed building consent for alterations to convert farm buildings to craft workshops	16.07.1989	Approved
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2 HISTORICAL DEVELOPMENT

A brief historical background is given here to provide an immediate context to the Site.

NOTE: As intended by the studies, the *East Midlands Historic Environment Research Framework North Lincolnshire County Overview* (Membury, 2018), (Bennet, 2018), (Albone, 2018), (Everson, 2018),

(Field, 2018), (Wright, 2018) and the *East Midlands Historic Environment Research Framework Regional Overview* (Lewis, 2018), (Vince, 2018), (McNabb, 2018), (Meyers, 2018) (Clay, 2018) (Willis, 2018) (Taylor, 2018) (Courtney, 2018) (Campion, 2018) produced by the Research Frameworks Network has been used extensively in the production of this section. Much of the below is adapted and abridged from this source with subsequent additions and analysis by Marrons. Thanks are due to the authors in this regard.

A search of the North Lincolnshire Historic Environment Record (HER) was completed by the North Lincolnshire HER office on the 4th of October 2022. Additional information on archaeological resources primarily comes from this source.

2.1.1 Where referred to in the document, the main archaeological periods are broadly defined by the following date ranges, with the date ranges broadly corresponding to those set out by the *East Midlands Historic Environment Research Framework Regional Overview*.

- Palaeolithic c. 100,000 – 10,000 BC
- Mesolithic c. 10,000 – 4000 BC
- Neolithic 4000 – 2000 BC;
- Bronze Age 2000 – 800 BC;
- Iron Age 800 BC – AD 43;
- Romano-British AD 43 – 410;
- Early Medieval AD 410 – 1066;
- Medieval AD 1067 – 1539;
- Post-Medieval AD 1540 – 1799;
- 19th Century AD 1800 – 1899;
- Modern AD 1900 – present

PREHISTORIC

2.1.2 The Prehistoric Period encompasses the Palaeolithic, Mesolithic, Neolithic, Bronze Age, and Iron Age.

2.1.3 During the final phases of the last Ice Age (the Loch Lomond Re-advance of the late Devensian: 18,000 - 10,000 years ago), glaciers covered the majority of the country. By 17,000 BC the ice sheets had begun to melt

2.1.4 The retreat of the glaciers created fenland within the flat bed of the glacial Lake Ancholme, which now forms the delta of the River Ancholme, itself a tributary of the Humber which, at

the time, formed a substantial freshwater watercourse across the land bridge from England to the Continent prior to the incursion of the North Sea. The Site is situated at the edge of the modern delta, approximately 4.85km east of the modern route of the river, and thus likely was near the broad edge of Palaeolithic fenland.

- 2.1.5 Palaeolithic archaeological remains within the county are exceedingly rare, due to the lack of protected environments, such as fissures or caves, and the evidence for this period is poorly represented. No known evidence of Palaeolithic activity exists within the study area.
- 2.1.6 In the Mesolithic period, world temperatures rose causing Britain to undergo climatic and environmental changes, creating a more hospitable habit. The increase of temperature also caused sea level rise, gradually inundating the extensive low-lying terrain of the North Sea basin and other coastal areas culminating with the isolation of Britain as an island. It is assumed that at this time the fenland around the Site changed from freshwater to saltwater due to the inundation of the Humber.
- 2.1.7 Currently, evidence for Mesolithic exploitation of the county is mainly within higher ground. However, it is thought that there is good potential for preserved sites in the county within areas of later marine or freshwater inundations, particularly at the edges of fens, such as the Site. It has been suggested that the spread of sites and lack of large assemblages in general may be representative of a transitory population utilising seasonal resources.
- 2.1.8 Mesolithic flints have been discovered in the study area, and there are four known locations where of flints have been discovered through fieldwalking activity. All the assemblages contain flints thought to be Mesolithic in date and are all also associated with Neolithic flints in the same area. Three of these assemblages are also associated with early Bronze Age flints.
- 2.1.9 The Mesolithic flints found include two blade fragments, a microburin and a possible microlith, approximately 1000m northwest of the Site (**Map Ref 22**); two blade fragments, 800m northeast of the Site (**Map Ref 19**); five blades or blade fragments, a microlith and a microburin, 800m east of the Site (**Map Ref 27**); and three blades and a retouched flake, 680m east of the Site (**Map Ref 35**).
- 2.1.10 At around 5500 BP, the material culture associated with the Mesolithic disappears from the archaeological record to be succeeded by that of the early Neolithic. The Neolithic society also marks a change of culture, and the beginning of sedentary activity. Greater forest clearance took place in this time, likely to provide space for agriculture and settlement, although likely at a slower rate in fen areas than in higher areas. Agricultural is inextricably linked with the idea of place, and the advent of agriculture in the Neolithic inevitably anchored people to a point in the landscape. Although there are some arguments that low levels of agricultural activity began in the late Mesolithic, it was in the Neolithic that the landscape, and likely the culture, changed in a way not seen an earlier period.
- 2.1.11 Direct evidence of settlement the county for the Neolithic period is rare, but not unknown, although is primarily concentrated in the south of the county and is not known near the Site.
- 2.1.12 Likewise, although megaliths and multi-chambered tombs began to be constructed during the Neolithic, there is no evidence of any Neolithic megaliths within the greater landscape surrounding the Site.

- 2.1.13 The four known Mesolithic assemblages of flints contained significantly more Neolithic material. 1000m northwest of the Site (**Map Ref 22**) contained a total of 127 pieces of worked flint, the majority likely dating the Neolithic period, although may also date to the Bronze Age. 800m northeast of the Site (**Map Ref 19**) contained a total of 58 pieces of worked flint, the majority thought to be Neolithic in date. 800m east of the Site (**Map Ref 27**) contained 167 pieces of worked flint, the majority likely dating the Neolithic period although may also date to the Bronze Age. 680m east of the Site (**Map Ref 35**) 111 pieces of worked flint, the majority likely dating the Neolithic period, although may also date to the Bronze Age.
- 2.1.14 The assemblages are generally wide scatters found across fields, and may well extend beyond the fields that they were found in. Only **Map Refs 27** and **35** had a more concentrated area of finds, and only **Map Refs 35** had a distinct central location.
- 2.1.15 Additionally, in the wider area, a number of stone axes have been found within the River Ancholme valley.
- 2.1.16 The evidence is suggestive of continued use of the area in and around the study area from the Mesolithic through the end of the Neolithic and into the early Bronze Age, with a substantial representation of the Neolithic period. A single area 800m west of the Site with three assemblages (**Map Refs 19, 28, and 35**) suggests a possible centre of activity. Such activity is likely to be at least semi-transient, where fixed locations are exploited and then returned to, perhaps seasonally, or could point to a fixed settlement in the landscape.
- 2.1.17 The transition between the end of the Neolithic and the early Bronze Age is a challenging period, as there is often little to no obvious features to mark the difference, and as a result, many sites are either blanketed as belonging to either, or are incorrectly identified. As with the worked flint in the study area, there is frequently little to distinguish between style and typology of the late Neolithic and early Bronze Age worked flints.
- 2.1.18 The development and use of bronze allowed easier felling of trees and clearing the land, and it was in this period that the landscape began to be cleared to utilise the land for grazing, arable and ritual purposes. As with the Neolithic, land clearance is thought to be more common in higher lying areas than the lowlands and fens.
- 2.1.19 Around the middle of the Bronze Age the climate began to become increasingly cool and wet. This impacted crop growth, putting a strain on resources. Combined with a rising population, more forest would have been cleared to meet the demand. Agricultural activity was intensified, and a greater range of more sophisticated tools began to be developed, and towards the end of the Bronze Age, bronze had become more common within the archaeological record.
- 2.1.20 Bronze Age round barrows appear in selected clusters within the county. One such distribution is down the eastern side of the Ancholme River valley. As part of this wider distribution, there are three late Neolithic or early Bronze Age barrows within the vicinity of the Site. Two of these are just outside the study area, at a distance of 1080m and 1200m southwest of the Site. The other is within the study area, 430m south of the Site (**Map Ref 16**).
- 2.1.21 In the north of the county, in the greater region of the Site, Bronze Age settlement is very rare. However, evidence exists for a crude wooden trackway within Brigg (approximately 6km

southwest of the Site) in the Ancholme Valley, which was dated to the late Bronze Age by a number of bronze artefacts. A Bronze Age raft was also found in a similar location.

- 2.1.22 Bronze Age wooden causeways across fenland or other waterlogged areas are well known and documented, although there are several theories as to their exact purpose. Regardless, the presence of such a structure indicates the area was being exploited in the Bronze Age, be it for ritual purposes; for subsistence, to gain access to food and resources; or for transportation, to and from one or more places.
- 2.1.23 Additional evidence of Bronze Age activity is found within three of the four known assemblages of flints contained early Bronze Age material at 1000m northwest of the Site (**Map Ref 22**), 800m east of the Site (**Map Ref 27**), and 680m east of the Site (**Map Ref 35**). Due to the aforementioned difficulties in distinguishing between many late Neolithic and Early Bronze Age flint artefacts, exact quantities cannot be stated, although enough pieces were diagnostic to confirm a Bronze Age date.
- 2.1.24 The location of the barrows is on a 5m to 10m rise, situated in a slight promontory jutting west out into the wide, low, valley of the Ancholme River. The barrows would have likely been a highly visible part of a wider funerary landscape.
- 2.1.25 No materials of the later Bronze Age are known within the study area. The presence of the barrows is a good indication that the area was considered a significant part of the landscape in this period. Additionally, the presence of several assemblages of worked flint is an indicator that the area possessed not just acultural significance, but was also exploited in the early Bronze Age. This could be indicative of a semi-transitory population, or a settlement in the wider landscape. The lack of evidence from the later Bronze Age could be an indicator that the area ceased to be significant, or useful in this period. As mentioned, climate change in the middle Bronze Age may have seen a slight rise in the water level of fens, rendering the study area less exploitable.
- 2.1.26 With the development of iron, many changes occurred, particularly noticeable as societal changes; by the end of this period the society had become highly stratified with complex economic and social systems. The development of iron also led to widespread deforestation and land clearance (May, 2001).
- 2.1.27 Lincolnshire, in general, contained almost no major fortified sites in comparison to much of the rest of Iron Age England. There is some evidence for a small, fortified enclosure at Yarborough Camp, approximately 4.9km east of the Site in the upland Wolds portion of the county, which may date to this period. However, it is very small in scale compared to many other fortified sites of the period (May, 2001).
- 2.1.28 The Site is thought to be at the edge of the sphere of influence of a major late Iron Age settlement at Kirmington, 7.35km east of the Site, in the upland Wolds (May, 2001).
- 2.1.29 Although the area of Lindsey, within which the Site is located, is known to have been a rich and prosperous region by the late Iron Age, this predominantly applies to the more settled, upland, areas. Little is known about areas such as the Site which existed in a liminal position at the edge of fens. Unlike the large, contiguous, fenland in the south of the county, the fens of the Ancholme are not known to be associated with salt production in the Iron Age.

- 2.1.30 In general, relatively little is known about the rural Iron Age in this part of the county, particularly in marginal areas, such as those surrounding the Site.
- 2.1.31 There is some evidence of Iron Age activity within the study area, all clustered in a similar locale, between approximately 700m and 1300m east of the Site. These include several undated intersecting ditches which could be agricultural boundaries, as well as what appears to be a sub-rectangular enclosure which could be late Iron Age or Romano British in date (900m to 1300m east of the Site, **Map Refs 10** and **29**). These ditches are also shown as cropmark features on Figure 12. Five late Iron Age pottery sherds were found near Romano-British pottery sherds during fieldwalking 700m east of the Site (**Map Ref 34**). A ditch containing possible late Iron Age pottery along with a human femur and animal bone was discovered 915m southeast of the Site (**Map Refs 46** and **47**).

ROMAN

- 2.1.32 The Roman occupation of Britain began in earnest under the Emperor Claudius in AD 43, and advanced rapidly over most of England and Wales. The first Romans to pass the vicinity of the Site were almost certainly the Ninth Legion with its attached auxilia, spearheading the first campaign, under Aulus Plautius from AD 43 to AD 47.
- 2.1.33 The native British people living throughout most of Lincolnshire, and in the area of the Site were known as the Corieltavi. Any resistance to the invading legions is unrecorded, with limited or no evidence remaining in the archaeological record.
- 2.1.34 Settlement during the Roman period seems to have become more common, or at least is more represented within the archaeological record. There is limited evidence of the Roman period within or close to the Ancholme River valley, which is mostly limited to the northern part of the valley, near the Humber, and at the edges of the valley. Such remains seem to indicate localised, scattered, activity in this period.
- 2.1.35 In Figure 13, several sites can be seen in the southeastern region of the Site, outside the study area. The Red dot shows the approximate location of the Site. Roman Site 1 is a pottery production site; 2, is an enclosed farm with an associated funerary site; 3 is a farm site, 4 is a roadside settlement with associated shrine, and 5 is a roadside settlement. The route of Ermine Street, a major Roman Road, passes northeast of the village (shown as dotted line) (Allen, et. al., 2015).
- 2.1.36 The early distribution of Roman military forces in the east Midlands is in a series of vexillation forts placed at strategic points. None are known in the region surrounding the Site.
- 2.1.37 Evidence for Roman activity in the study area includes a possible sub-rectangular enclosure (900m to 1300m east of the Site) and associated field boundaries (**Map Refs 10** and **29**) which could be late Iron Age in date (Figure 12). Nine Romano-British pottery sherds were found near late Iron Age pottery sherds during fieldwalking 700m east of the Site (**Map Ref 34**). A collection of 86 sherds of mixed Roman pottery was found during fieldwalking 800m east of the Site (**Map Ref 27**). Roman cultivation soil (**Map Ref 50**) and residual, seemingly out of situ pottery (**Map Ref 61**), was found beneath and mixed in with later, Medieval, features in the historic core of Elsham (approximately 600m northeast of the Site). Evidence of Roman

settlement has been found between 420m and 750m north of the Site (**Map Refs 37 and 20**), in the form of pottery under a later, Saxon settlement context, and building materials.

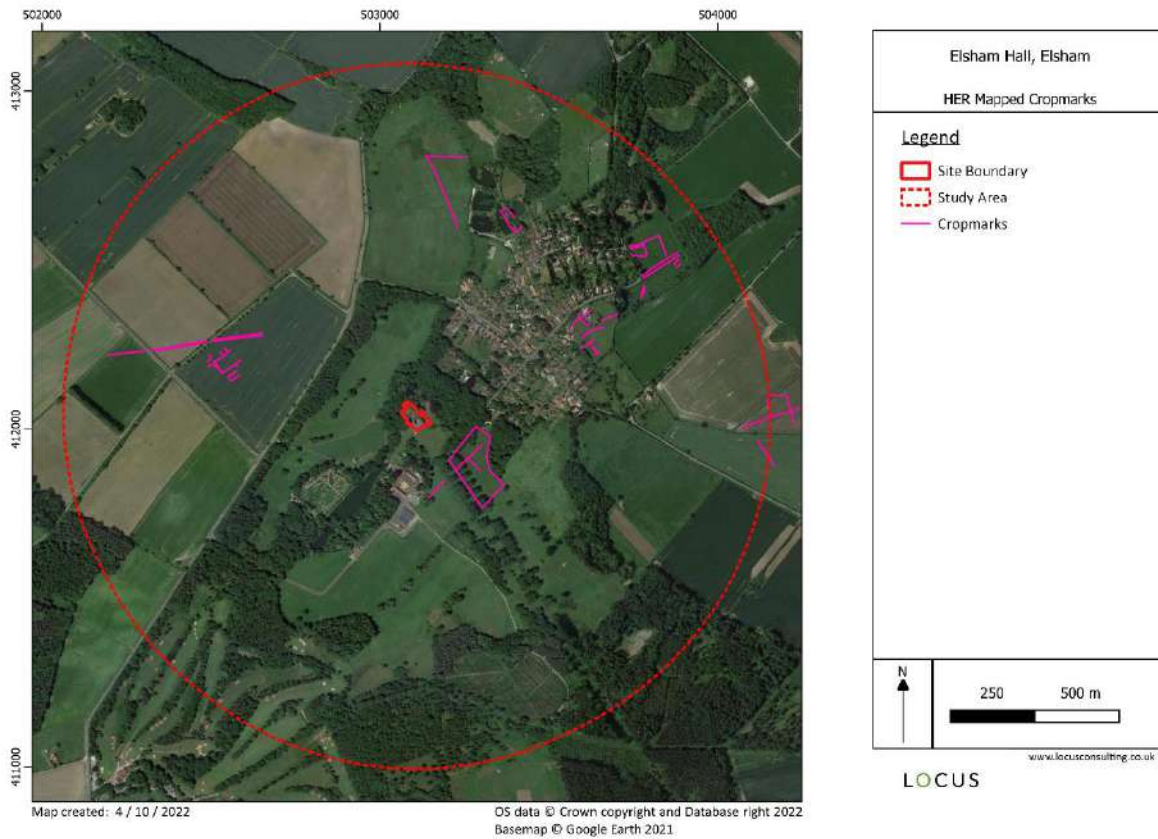


Figure 12 Cropmarks in the Vicinity of the Site.

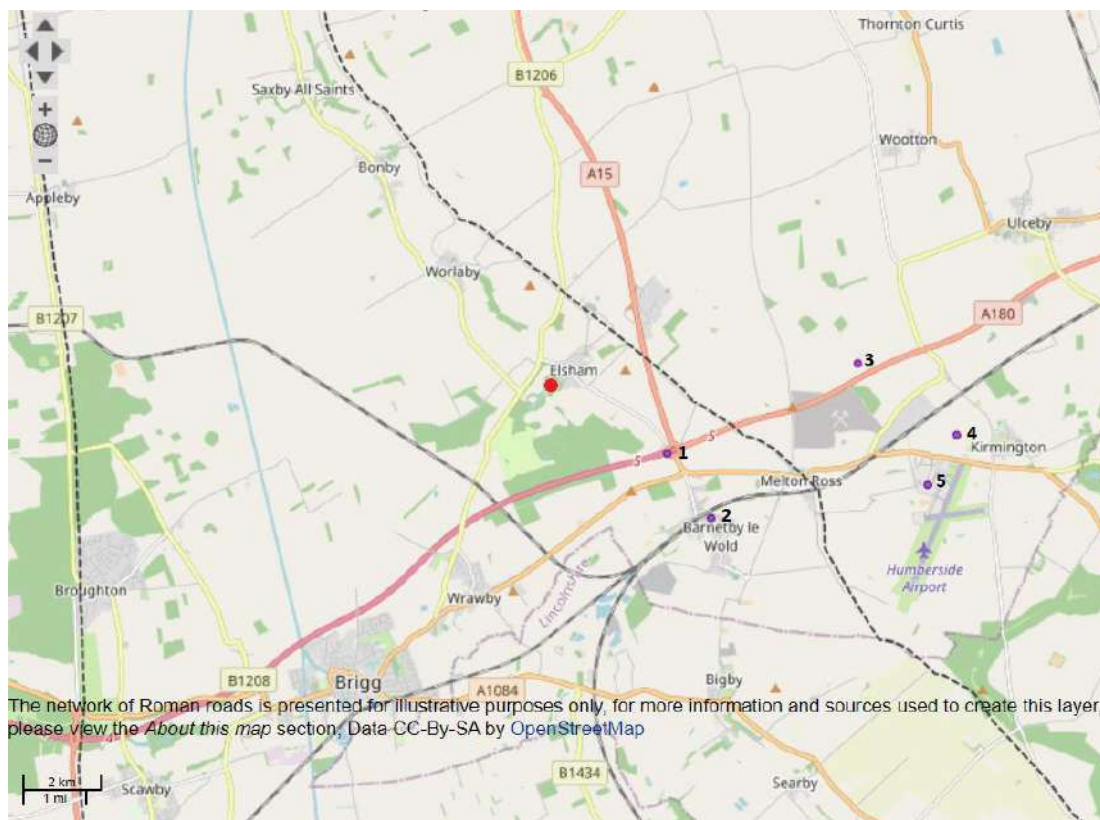


Figure 13 Roman Sites in the Vicinity of the Site

2.1.38 Evidence seems to suggest a late Iron Age settlement, east of the Site, which became Romanised at some point after the conquest and then subsequently moved to a position north of the Site, likely later in the Roman occupation of Britain. The historic, Norman, core of the village was likely agricultural for at least part of this period.

EARLY MEDIEVAL

2.1.39 The place name of Elsham is a derivation from the Old English ‘Eli’s hām’ meaning ‘Eli’s homestead/village’ (Nottingham University, 2012).

2.1.40 Between the retreat of the Roman legions in 410 AD and written works by Bede in the early 8th century, there is essentially no written history for the early Medieval period. In general, what is known from this period comes from the archaeological record, and later written sources.

2.1.41 In the initial phase after the Romans left Britain, it is likely that little changed for many everyday people, especially those in rural areas, with less direct connection to Roman governance. Changes that followed would likely have occurred with evolution from post-Roman to Germanic culture through a slow shift of cultural mores, language, fashion, religion, and other such activities that are challenging to see direct evidence of in the archaeological record.

2.1.42 Later, Norman, sources show that there were four lords of Elsham at the time of the Conquest (Powell-Smith, 2011). This is suggestive that a settlement was well established by the end of the Early Medieval era.

2.1.43 Evidence of Early Medieval activity exists within the study area. Two locations containing small amounts of Saxon pottery are known from fieldwalking activity. One was restricted to a single rim sherd as well as later, Medieval, pottery approximately 800m northeast of the Site (**Map Ref 24**), and the other containing three late Saxon sherds as well as other Medieval pottery and tile, approximately 680m east of the Site (**Map Ref 35**). Additionally, residual, seemingly out of situ pottery (**Map Ref 61**), was found beneath and mixed in with later, Medieval, features in the historic core of Elsham (approximately 600m northeast of the Site).

2.1.44 The conjectured remains of an early Medieval settlement are located 420m north of the Site (**Ma Refs 37**). Fieldwalking identified a pottery assemblage included early Anglo-Saxon, Middle Saxon Maxey, and Ipswich wares. Metalwork included both Saxon and Viking artefacts including four Saxon broaches, a gilt copper alloy eagle's head mount, copper alloy hooked clasp, a Viking Borre broach, Viking copper alloy Ringerike mount, and a fragment of a green glass vessel.

2.1.45 The evidence is suggestive that Early Medieval settlement may have been a continuation of late Roman occupation north of the Site, with associated activity in the historic core of Elsham as well as to the east of the Site, where early Roman and Iron age activity is thought to occur. Finds from the purported settlement encompass early Saxon through to 11th century Viking remains, suggesting a continuous occupation through the early Medieval period may have occurred in this area.

MEDIEVAL

- 2.1.46 Elsham is mentioned in the Domesday Book, as part of the Hundred of Yarborough. It had a recorded population of over 41 households in 1086, putting it in the largest 20% of settlements recorded in Domesday, and is listed under 4 owners in Domesday Book; Bishop Odo of Bayeux, the Bishop of Lincoln, Roger of Poitou, and Geoffrey Alselin. Combined, the resources of the village contained nineteen and a half ploughlands, and three hundred and twenty-one acres of meadow (Powell-Smith, 2011).
- 2.1.47 Two of the owners, the Bishop of Lincoln and Geoffrey Alselin, also owned land in the neighbouring settlements of Worllaby and Wrawby, respectively. As well as sharing ownership, the settlements also shared lords, with the Bishop of Lincoln having Jocelyn (son of Lambert) as the lord of both Elsham and Worllaby, and Geoffrey Alselin having Ralph (nephew of Geoffrey Alselin) as the lord of both Elsham and Wrawby (Powell-Smith, 2011).
- 2.1.48 In Elsham, evidence of tofts and crofts to the north and south of Church Street can be seen on 19th century Ordnance Survey (OS) mapping, suggesting that in this period settlement was concentrated around the church.
- 2.1.49 The priory of Elsham was founded by Beatrice d'Amundeville, likely around the early 12th century. It was first intended to be a hospital for the poor, in charge of one or two canons of the order of St. Augustine. This original endowment included the vill and church of Elsham, as well as the churches of Kingerby, Kirkby (cum Osgodby), Snartford, and Winthorpe (Page, 1906).
- 2.1.50 Beatrice's sons Walter, William, and Elias had increased its endowment before 1166. Shortly after this, near the end of the 12th century the Knights Hospitallers laid claim to the endowments of the canons of Elsham with the help of Jocelyn d'Amundeville, although d'Amundeville later recanted and gave the canons the confirmation charter, promising that they should never be subject to the jurisdiction of another house of religion (Page, 1906).
- 2.1.51 It was previously believed that Elsham Priory was once located within Elsham Hall Gardens and Country Park. However, 21st century archaeological evidence of a Medieval cemetery (**Map Ref 50**) and chalk rubble demolition debris (**Map Ref 44**) was found to the south of Church Street, approximately 100m west of the village church. The chalk rubble has been interpreted as possible Dissolution-era demolition material from buildings associated with Elsham Priory (HER Record MLS2293). This area is to the south of an area thought to be associated with the supposed site of Geoffrey Alselin's domesday manor.
- 2.1.52 The modern day Site is recorded as being associated with Bishop of Lincoln's domesday manor, although this manor is also recorded as being associated with Elsham Priory.
- 2.1.53 It is believed that the modern lake, approximately 140m south of the Site, was originally a Medieval fishpond, although now larger than its original dimensions, having been enlarged in the modern era. This is suggestive that at least part of the gardens of Elsham Hall may have once formed priory lands or have possibly been connected with a former manorial complex, rather than open lands of the village.
- 2.1.54 A Medieval moated site (**Map Ref 45**) is located approximately 570m south of the Site, although its exact date, former use, and purpose remains unknown.

- 2.1.55 Chronologically the construction of Medieval moated sites was concentrated in the period between around 1150 and 1400, especially in the late 13th century and the opening years of the 14th century (Atkins, 1972). By far the greatest concentration lies in central and eastern parts of England. Moated residences were particularly favoured amongst both nobility and the rich clergy and generally were intended as a status symbol, rather than a practical military defensive structure. Although moated sites are also often found in association with remains of agricultural features such as fishponds and field systems (Historic England, 2022) and are frequently manorial centres, isolated moated sites, such as at **Map Ref 45**, or those in areas of dispersed settlement are less likely to be manorial (Lewis, 2018).
- 2.1.56 As might be expected for a well-established Medieval rural settlement, scatterings of Medieval pottery have been found through fieldwalking activities within the study area. 31 sherds were found approximately 800m northeast of the Site (**Map Ref 24**), 109 sherds were found approximately 915m east of the Site (**Map Ref 28**), and 68 sherds and 104 pieces of tile were found approximately 680m east of the Site (**Map Ref 35**). Additionally, a long cross silver penny of Edward I was also found through fieldwalking approximately 970m north of the Site (**Map Ref 25**).
- 2.1.57 Crop marks show a possible enclosure and field boundary approximately 120m southeast of the Site, although it is not known which period this belongs to.
- 2.1.58 The development throughout the High Medieval period seems to be less of a continuation of existing occupation as in preceding periods, but the establishment of a new settlement near existing settlement. The historic core of Elsham seems to be the location of the Norman settlement, east of the early Medieval settlement, constructed over contemporary agricultural land, with known activity occurring to the southeast of the village, and east of the Site. The use of the Site at this time is unknown, and there is conflicting written information which suggests it is the former site of Elsham Priory, a former manorial complex, or something else. Whilst archaeological evidence is suggestive that the Site is not the location of the priory, there is potential for the Site being at least associated with priory land due to the presence of the nearby fishpond.

POST-MEDIEVAL

- 2.1.59 Throughout the Post-Medieval period, it is likely that Elsham continued its existence as a small rural village with an agricultural economy. There are a small number of surviving buildings in Elsham dating from the 16th and 17th centuries, Manor House on Front Street and 1 Church Street respectively.
- 2.1.60 In 1536, the priory at Elsham was suppressed under the Suppression of Religious Houses Act (1535). It is possible that the original owner of Elsham Hall bought all or some of the priory land at the time of the Dissolution and used material from the priory to construct a building on the Site in the 16th century. Indeed, although Historic England place the likely origins of Elsham Hall as 17th century, the listing description states that there is the possibility that the origins are earlier (Historic England, n.d.).

18TH CENTURY TO MODERN

- 2.1.61 During the late 18th century, ca. 1760, Elsham Hall underwent major alterations, including the construction of the east front, the canted bay to the south front and the orangery in the grounds of the Hall constructed. Internal alterations were also made to the hall such as the installation of a main staircase and hallway (Historic England, n.d.) (Pevsner & Harris, 1964).
- 2.1.62 Throughout the 18th and 19th centuries, through marriage, the hall was owned by various families, including the Thompsons, the Corbetts and the Astleys.¹
- 2.1.63 The earliest mapping of the estate found through online research was from an 1819 map by Charles Budgen (Figure 14) mapping Brigg and the surrounding area. The map shows Elsham as a fairly well-developed village, extending south-eastwards towards Elsham Hall.



Figure 14: Map of Brigg by Charles Budgen (1819), approximate Site location circled in red (Copyright British Library Board).

- 2.1.64 The Site at this time (Figure 15) sits within a square area of enclosed gardens/parkland extending south-westwards and finishing roughly adjacent to Elsham Road. Contained within the gardens at this time was what appears to be a walled garden to the south-west, along with an outbuilding in the central section of the park. A small lodge-type building is located within the park on the southern side of what is now the B1206. There appear to be at least three approaches to the hall, from every corner of the park bar the southern corner. Although slightly unclear from the map, it appears that a fourth route also leads from the north-east. A lake is depicted to the south of the hall, centrally located within the park. The hall at this time is depicted as a rough L-plan with a slight projection to the rear on the southern-most section. The orangery is also mapped to the east of the house.

¹ 'The Corbetts of Elsham Hall', *The Hull Packet and East Riding Times*, Friday 8th September 1882, held by the British Newspaper Archive.



Figure 15: Map of Brigg by Charles Budgen (1819), approximate Site location circled in red (Copyright British Library Board).

2.1.65 The Tithe map for the Parish of Elsham does not appear to be available.

2.1.66 In the early 19th century, the hall was used as a girl's boarding school, run by Mrs Gardiner, an author and teacher as well as friend of Mary Wollstonecraft. An advertisement placed in the *London Courier and Evening Gazette* in 1805 states that "young ladies are taught English and French grammatically, needle-work, history, geography, use of the globes and maps, and the elements of astronomy". It goes on to state that the "house is delightfully situated in a very healthy part of the country, and peculiarly adapted for a school; the rooms large and lofty, commanding expansive views: the pleasure-grounds extensive".²

2.1.67 In the early to mid-19th century, significant alterations were made to the property, with the addition of rear service wings and alterations to the southern elevation. These changes are discussed in detail in the section on Phasing in Section 4.2.

2.1.68 The mapping (Figure 17) shows the Site at this time with the hall depicted roughly as a U-shaped building with the main section sitting towards the south and two irregular wings stretching northwards from either end. The wings create a rough courtyard in the central section of the hall, infilled slightly by projecting elements off both wings. On both the western and eastern sides of the main hall are small glass-roofed structures. To the rear of the hall, on the western side sit a number of square and linear detached buildings (the 19th century service buildings) with a roughly L-shaped linear range running east-west to the north. The arrangement of these buildings created a rough yard to the rear of the main hall with tracks entering this service area from the east and west.

² 'Elsham Hall Lincolnshire – Education for Young Ladies. Mrs Gardiner's Boarding School', *London Courier and Evening Gazette*, Monday 8th April 1805, held by the British Newspaper Archive.

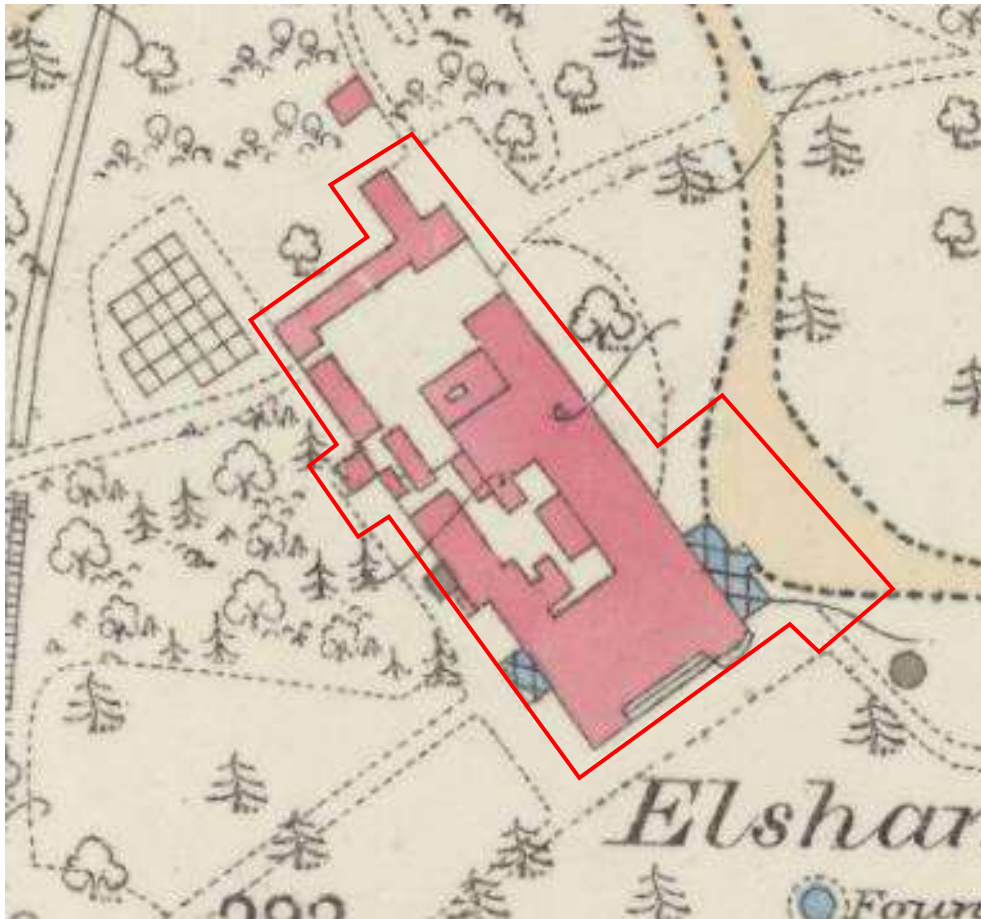


Figure 16: Lincolnshire XX.1 Ordnance Survey (OS) map, 25-inch, surveyed 1886 and published 1887, approximate Site location outlined in red

2.1.69 It seems that as part of this scheme of works, there were also significant alterations made to the wider grounds of the hall with the expansion of the grounds, extensive landscaping and the construction of new buildings. In comparison to the relatively small grounds depicted on the 1819 map (Figure 15) which had a south-western boundary line finishing roughly parallel with Elsham Road, by the time of the 1887 map, the boundary had been extended much further south-west and also to the north-east. The fishpond was significantly expanded and a coach house and stables were constructed, along with a threshing barn and adjoining cartshed/workshop/stable/granary ranges. Kennels were also built to the north of the house as well as to the south near the new stables. Areas and avenues of trees can be seen across the estate, indicating landscaping had been undertaken.

2.1.70 The extensive changes which occurred to the hall and grounds during this time are indicative of a wealthy estate. This is testified further through study of the census records from 1851 which show an extensive list of 15 servants working at the hall in various roles such as a governess, housekeeper, lady's maid, laundry maid, dairy maid, butler and groom.

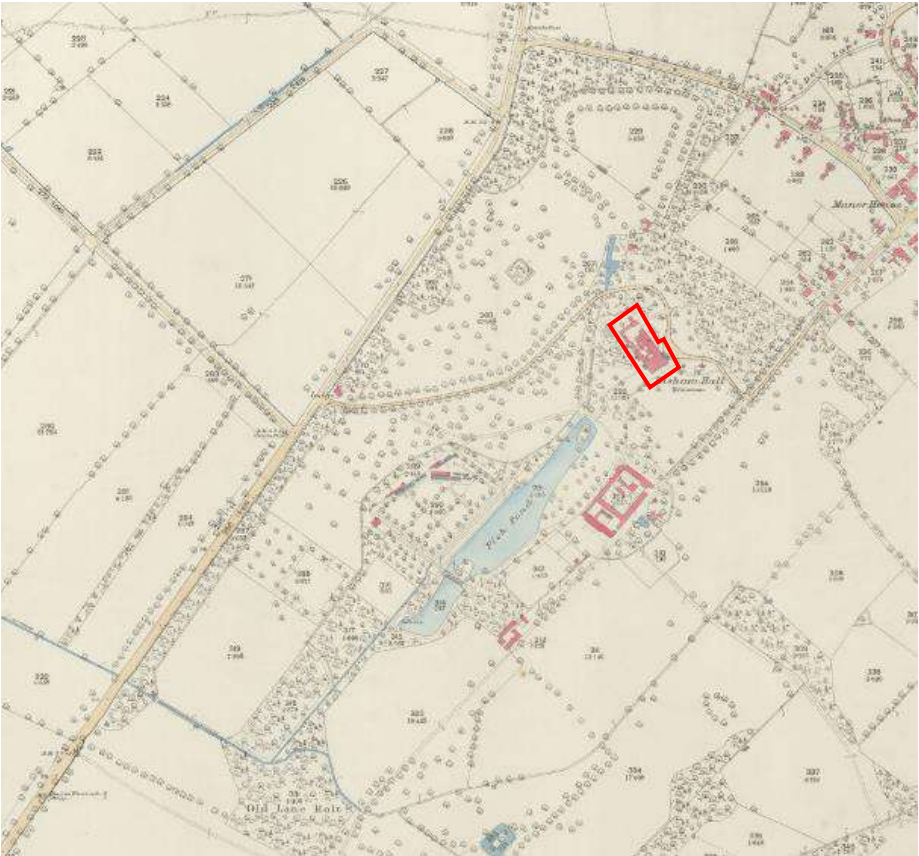


Figure 17: Lincolnshire XX.1 Ordnance Survey (OS) map, 25-inch, surveyed 1886 and published 1887, approximate Site location outlined in red



Figure 18: Lincolnshire XX.1 Ordnance Survey (OS) map, 25-inch, revised 1906 and published 1907, approximate Site location outlined in red

- 2.1.71 The next Ordnance Survey (OS) mapping published in 1907 (Figure 18) shows the layout of the Site unchanged, apart from the fact that the glass-roofed structure on the eastern elevation of the house is now shown as solid brick construction. Further changes have occurred within the wider area, with a cricket ground now sitting to the north of the estate and Elsham golf course to the south.
- 2.1.72 In 1916, RAF Elsham Wolds opened, ca. 1.5km north-east of the Site, operating throughout the First World War and expanding for operations during the Second World War.
- 2.1.73 In 1925, the Elsham Hall Estate was bought from Sir Francis Astley-Corbett by The Provost and Fellows of King's College Cambridge as an investment.³ Later in the decade, the hall was advertised to let on a monthly tenancy, stating that it could be adapted for use by two or three families.⁴
- 2.1.74 In 1931, the hall was purchased from King's College by the Elwes family. Reportedly, when purchased, the house lacked modern facilities such as electricity and central heating, with dry rot in the west wing (Kingsley, n.d.). Consequently, in the early 1930s, the house underwent a significant phase of remodelling. The works cost approximately £20,000 and were finished in July 1934 (Kingsley, n.d.). These changes are discussed in detail in the section on Phasing in section 4.2.
- 2.1.75 In 1939, the hall was requisitioned by the RAF as an anti-aircraft HQ. This use left it badly damaged, leading to the extensive demolition of the hall's two rear wings. The two wings are still present on mapping published in 1950, although the map was only revised in 1946, so this is to be expected, with the wings not yet demolished (Figure 19).
- 2.1.76 In 1970, the park and gardens were opened to the public by the Elwes family. The hall remains a private home.

³ 'Lincolnshire Estate Changes Hands', *Nottingham Evening Post*, Wednesday 1st July 1925.

⁴ 'Elsham Hall, N. Lincs', *Sheffield Daily Telegraph*, Tuesday 14th February 1928, held by the British Newspaper Archive.

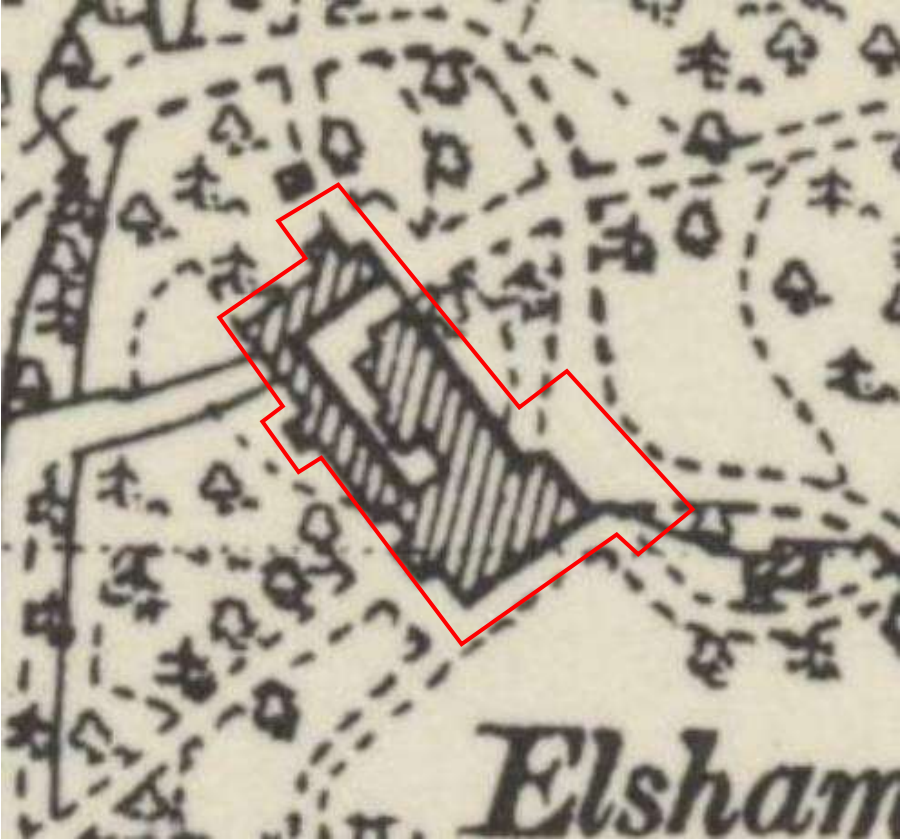


Figure 19: Lincolnshire Sheet XX.NW Ordnance Survey (OS) map, 6-inch, surveyed 1946 and published ca. 1950, approximate Site location outlined in red



Figure 20: Modern day satellite image, 2021 © Google Earth, approximate Site location outlined in red

3 STATEMENT OF SIGNIFICANCE

- 3.1.1 This Statement of Significance is intended to support pre-application advice, design phases of the scheme and subsequently, an application for planning permission and listed building consent at Elsham Hall.
- 3.1.2 In accordance with Paragraph 194 of the NPPF, the assessment is proportionate to the scale of potential development proposed.

ELSHAM HALL

Status: Grade II* listed building

NHLE Reference: 1281128

Map Reference: 8

Listing Description

- 3.1.3 Taken from the National Heritage List for England (NHLE):

Small country house. C17 or earlier origins; late C18 east front and canted bay to south front for Thompson or Corbett family; extended to north and west in C19. Alterations and additions of 1933 by Guy Elwes for Geoffrey Elwes include west front, canted bay to south front, rendering and doorway to east front, Catholic chapel to north side, and extensive interior remodelling. C19 north service ranges largely demolished in C20. Limestone ashlar to earlier sections of south front, rendered ashlar to east front with limestone dressings, rendered brick to remainder. Westmorland slate roofs. Approximately square on plan: central east-west section with entrance hall to south and stairs and chapel to rear, flanked by wings forming east and west fronts with central entrances. East front: 3 storeys, 3:1:3 bays, with central pedimented bay breaking forward. Ashlar plinth. Central bay has rusticated ground floor and rusticated quoins above. 3 stone steps to tall round-headed entrance in deep internal porch with rusticated tunnel vault, large 2-leaf panelled outer doors and glazed inner doors beneath ornate fanlight. Single large brass hitching rings flanking entrance. 12-pane recessed sashes to right with channelled and keyed flat arches, projecting sills and raised panels below; similar blind windows to left. First floor: central Venetian window with ashlar pilasters and central rusticated round arch flanked by moulded cornices; ornate glazing of 1933 to central light. Raised first-floor band to side bays; 12-pane sashes to right, single sash and 2 blind windows to left beneath channelled and keyed flat arches. Second floor: small central window with reeded ashlar frieze and moulded cornice above; second-floor band to side bays, 6-pane sashes with single blind window to centre left. Dentilled ashlar cornice, central pediment flanked by blocking course with central raised coped sections to side bays. Left return forms south garden front: 2-storey, 3-bay central section flanked by projecting 3-storey single-bay wings with 2-storey canted bays breaking forward. Plinth, flight of 4 steps with wrought-iron balustrade to central glazed 2-leaf door with ornate 1933 overlight in ovolo ashlar architrave. Full-length 12-pane sashes to side bays in reveals and similar architraves. First-floor band to central section; 12-pane sashes in architraves. Reeded ashlar frieze and cornice, with blocking course to central section and canted bays. Second floors of wings (C18 wing to right altered in 1933) have central 8-pane sashes flanked by pilasters and 6-pane sashes; moulded cornice, pediment above

*central sashes, blocking course stepped-up above pediment. Double-span swept roof to central section, hipped roofs to wings. Lateral stacks to wings. Interior. East front contains section of late C18 geometric stone staircase to second floor with scrolled wrought-iron balustrade, moulded handrail and moulded plasterwork dome with foliate centrepiece, garlands and relief panels; first-floor bedroom with dentilled cornice, chimneypiece with composition ornament; beaded-panel window shutters and doors in architraves throughout. N Pevsner and J Harris, *The Buildings of England: Lincolnshire*, 1978, 232-3; drawing by C Nattes, 1794, Banks Collection, Lincoln City Library; *Elsham, guidebook*, 1981. *The Field*, 17 August 1985, 48-50 (Historic England, n.d.).*

- 3.1.4 Elsham Hall is also mentioned in Pevsner's *The Buildings of England – Lincolnshire*. The entry is reproduced below:

When the estate came to the Corbett family in 1788 there was an early C18 house here with a NE wing rebuilt grandly in the second half of the C18. Three storeys with three bays each side of a narrow, slightly projecting pedimented centrepiece, its base stone channelled, with quoins above. Darkly shadowed deep entrance arch. Above it a Venetian window with a rusticated head, and above this a small oblong window. But it seems likely that Guy Elwes, who rebuilt and altered much of the house in 1933, might also have tampered with this centrepiece. Round the corner on the SE front the two-storey canted bay may be post-1788. The attic storey above was rebuilt by Elwes, who duplicated the three bays at the S end. The centre three bays, with first floor band, moulded architraves, and cornice, may represent the early C 18 house. The SW front is entirely by Elwes, with an incongruous Gothic oriel corbelled out above the entrance. Inside the main entrance a U-shaped staircase hall and the upper part of the staircase survive from the late C 18. Cantilevered stone stair with iron balustrade. At the top a pretty plaster ceiling. Otherwise the interior is by Elwes, who removed the lower part of the staircase and made the entrance hall into a vestibule, turning the house round and inserting a much grander and more spacious hall facing SE. In the library, which fills the S side, the inspiration is more clearly mid C 18. Pedimented doorcases, a plain, deep cornice, and excessively bulgy pilasters, flanking the fireplace. To the W is Elwes's flat-roofed chapel, with plain coffered ceiling and angular detailing.

Orangery. Three arched windows in a rusticated wall divided by Roman Doric columns. The entablature breaks, and there is a pediment over the middle bay. It was built in 1761.

The stables are probably C 19. Three pedimented pavilions with lower links. At the E end an unusually grand upper room with early C 18 style plasterwork. The chimneypiece may have been one now in the house. What can this room have been, decked out so grandly? Further stables behind forming a courtyard, the W range skilfully converted to tea rooms in 1983 by Guy Taylor.

Walled kitchen gardens with a grand ashlar pedimented doorcase with attached Ionic columns with vermiculated bands, probably also C 19 (Pevsner & Harris, 1964).

Additional Description

Phasing

3.1.5 It appears that there have been four main phases of alterations to Elsham Hall, across the 18th, 19th and 20th centuries.

18th Century

3.1.6 As evidenced in the Historical Development (Section 2), it appears that Elsham Hall has at least 17th if not potentially 16th century origins. An early drawing of the hall from 1796 (Figure 21) corroborates the idea of an older house subsequently remodelled in the 18th century. The drawing shows the earlier phase of the hall to the west (LHS) with the newly added wing to the east (RHS). The fact that this elevation of the house was chosen to be depicted as well as the turning circle located directly to the front of the hall suggests that this was, at the time, the main elevation of the hall with the entranceway consisting of an unusually small doorway located off-centre in the central bay. The eastern section of the front elevation with its steeply pitched roof and protruding gable with horizontal window openings is distinctly earlier in appearance than the western section with its much more polite style reflective of Georgian architectural fashions. To the west of the house is depicted another bay protruding westwards. Adjoined to this bay is a wall with a gateway which is attached to an outbuilding structure with a small chimney.



Figure 21: A sketch of Elsham Hall as viewed from the south (1796), seen on Site visit on 22/09/22

19th Century

3.1.7 The second phase of works occurred in the early to mid-19th century, with the eastern wing being further extended to the north with a 2-storey extension and a glass-roofed extension added to the 18th century wing, likely added to create a grander entrance compared to the small doorway seen on the southern elevation in the 1796 image (Figure 21). Ordnance Survey

(OS) published in 1887 (Figure 17) shows that the driveway was moved to the east of the house. A photograph of the eastern elevation of the hall from the early 20th century (Figure 22) shows the 18th century and 19th century phases on the eastern elevation. During this time, the central bay of the southern elevation was raised and the pediment on the south of the 18th century west wing was removed and replaced with a Diocletian window (Figure 23). It also appears that works were undertaken to the western wing, with the western bay seen on the 1796 picture demolished and the wing reworked to extend further northwards. Due to different construction materials, it appears that this was undertaken in two phases (Figure 24). The Ordnance Survey (OS) published in 1887 (Figure 17) also shows various outbuildings now situated to the rear (north) of the hall, suggesting that the outbuildings had been relocated from the western elevation of the hall (as seen in the 1796 image). Internal plans of the house from a survey undertaken in 1931 (Figure 25) show the extensive reach of the 19th century wings and outbuildings to the rear of the hall.

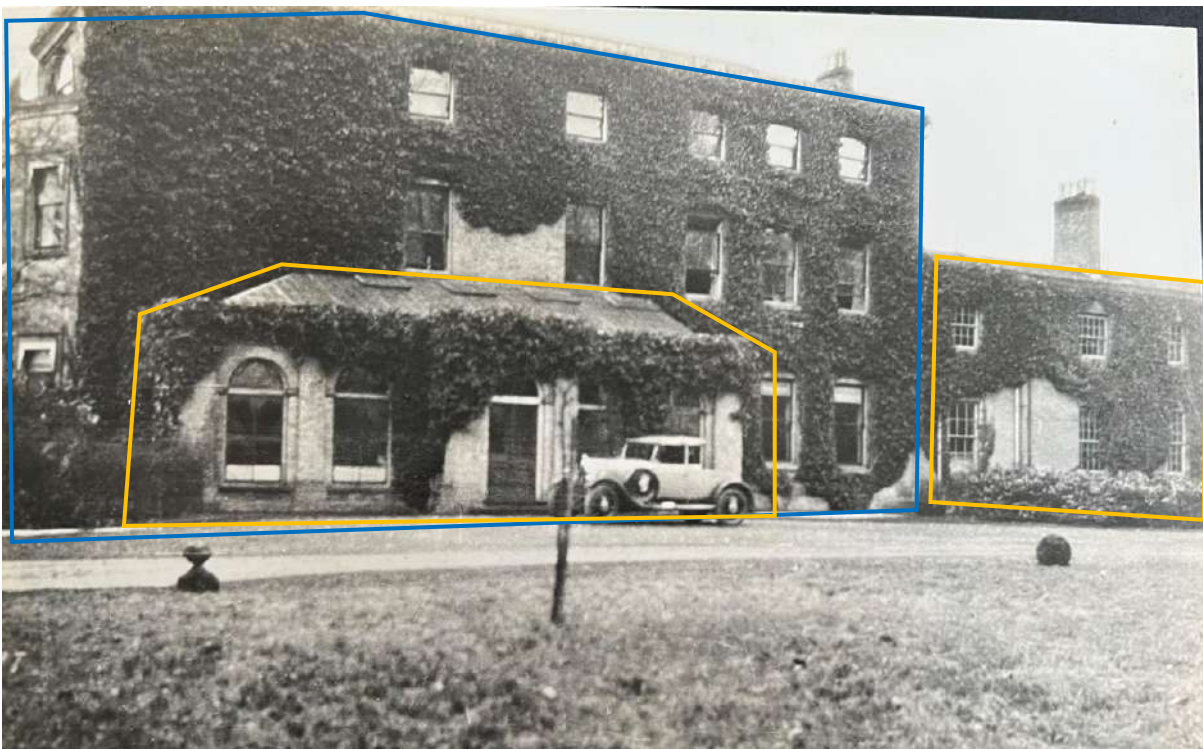


Figure 22: Early 20th century photograph of the eastern elevation of Elsham Hall, 18th century building phases marked in blue and 19th century building phases marked in orange, seen on Site visit on 22/09/22



Figure 23: Likely early 20th century photograph of the south elevation of Elsham hall showing the 19th century changes to the hall, seen on Site visit on 22/09/22



Figure 24: Likely early 20th century photograph of the western elevation of Elsham Hall showing the two different phases of the extension, seen on Site visit on 22/09/22

20th Century – First Phase

- 3.1.8 During the 1930s, the hall underwent a significant period of change and remodelling after purchase by the Elwes family. The works cost approximately £20,000 and were finished in July 1934 (Kingsley, n.d.). The west wing, said to have been extensively damaged by dry rot, was completely demolished (Figure 26) and rebuilt (Kingsley, n.d.), including the addition of a Gothic oriel window (Figure 27). The southern elevation of the western wing was modelled to mirror the southern elevation of the eastern wing, which had its three windows reinstated (which had been removed in the 19th century) (Figure 28). This created a symmetrical form to the southern elevation, although the western wing was built in brick with render, creating a curious contrast between this wing and the stone constructed east wing.
- 3.1.9 The eastern elevation was also extensively altered, with the 19th century porch removed and a central slightly projecting pedimented centrepiece was added with Venetian-style window at first floor level, creating an impressive entranceway (Figure 29). It appears that the two rear wings were kept, visible very slightly on images of the western (Figure 27) and eastern (Figure 29) elevations, although alterations may have occurred to them, such as the rendering of the western wing, as can be seen on Figure 27. There may also have been some demolition of sections of the wings which sat around the rear courtyard to make way for the construction of a flat-roofed chapel which was constructed in 1933 by Robert Geoffrey Gervase John Elwes' mother-in-law, Madeline Mary Liddell (Figure 30 and Figure 43). Interior alterations also occurred during this period, with the lower part of the staircase removed, making the entrance hall into a vestibule.



Figure 26: Photograph taken during the 1930s works to the house showing the rebuilding of the west wing after the previous wing's demolition, seen on Site visit on 22/09/22



Figure 27: Western and southern elevations of Elsham Hall after the 1930s alterations, seen on Site visit on 22/09/22



Figure 28: Eastern elevation of Elsham Hall during the 1930s renovations, seen on Site visit on 22/09/22



Figure 29: Eastern elevation of Elsham Hall after the 1930s remodelling, seen on Site visit on 22/09/22



Figure 30: Datestone in 1933 chapel to rear of main hall

20th Century – Second Phase

3.1.10 After the occupation by the RAF in the Second World War, it appears that the hall was left in a poor state, especially the rear two wings which were subsequently demolished.

3.1.11 The single storey north west service wing was demolished down to ground level and the area where it once stood is now paved. The rear elevation of the hall was rendered to match.



Figure 31: The position of the demolished north west service wing. The single storey building to the right is a 19th century game store.

3.1.12 However, when the more substantial north east service wing was demolished, concrete slabs were cast over the vaulted cellars that remained in situ. The cellars are not entirely subterranean and project above ground by approximately 1 metre (Figure 32), thus resulting in raised 'terrace' areas which roughly follow the extent of the demolished wing (Figure 36, Figure 37). At the northern end of this area, the sunken 18th century 'wash yard' was retained as the main point of entry to the cellars (Figure 34, Figure 35).



Figure 32: The air vent at the rear of cellar Chamber 2. Note the projection above ground level and the concrete capping over.

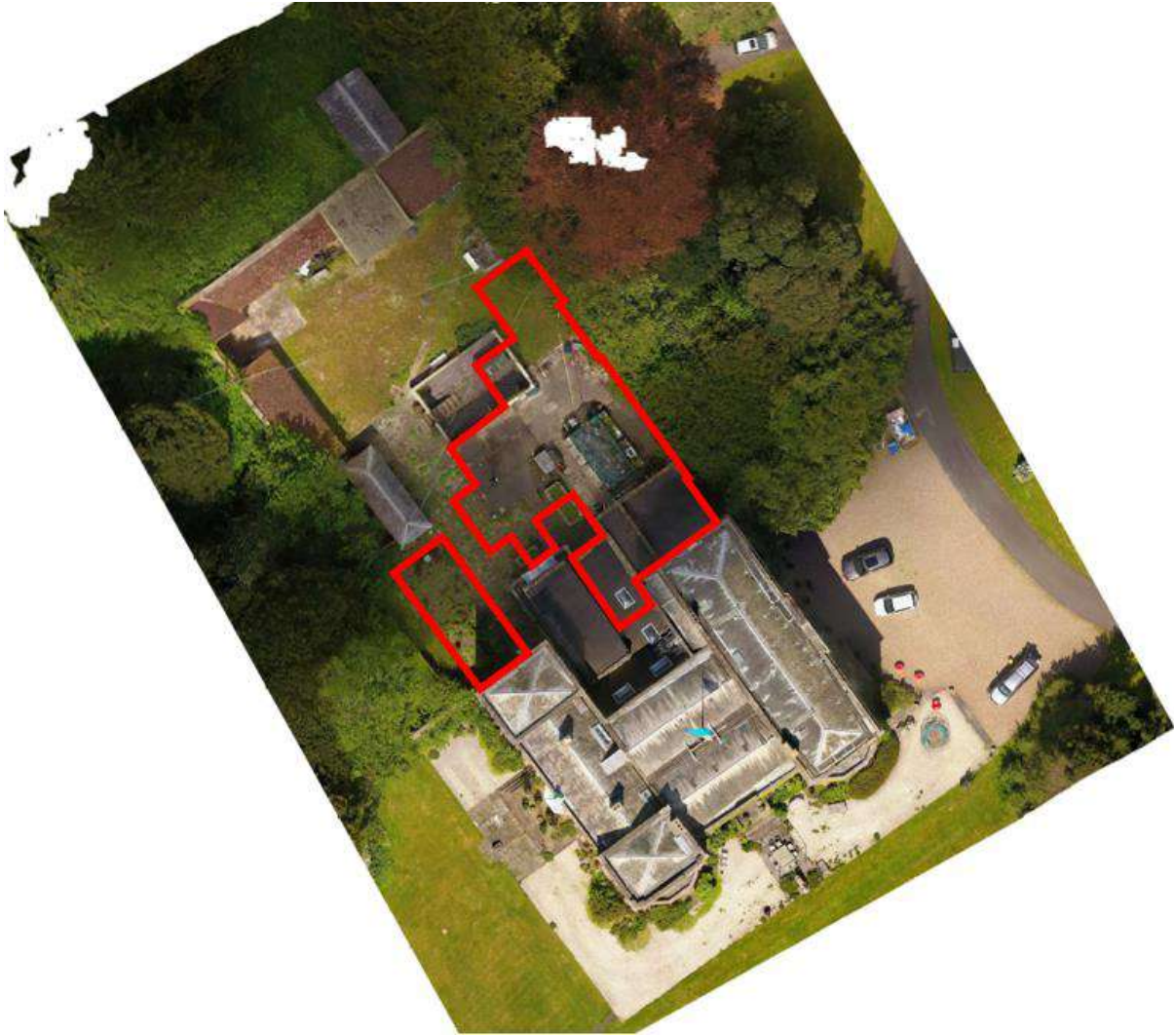


Figure 33: Modern-day aerial drone survey showing the approximate outline of the demolished 19th century wings edged in red.

- 3.1.13 Following the demolition of the north east wing, a small, flat roofed extension was added to the north east corner of the Hall to house a new boiler room and oil store (Figure 36, Figure 38). Alongside this a new vestibule and steps were built providing access from the rear of the Hall to the exterior.
- 3.1.14 The 20th century also saw changes to the L shaped range of outbuildings which enclose the rear courtyard. At the eastern end of the range three modern garages were built to replace the earlier outbuildings (Figure 39).



Figure 34: View south towards the north elevation of the Hall. The low wall in the foreground forms the parapet to the sunken wash yard.



Figure 35: The entrance gate at the west end of the wash yard.



Figure 36: View east over the concrete capped cellars. The rear entrance to the Hall is on the right of the image.



Figure 37: View north east over the concrete capped cellars.



Figure 38: The boiler room and oil store at the north end of the east wing.



Figure 39: The modern garages built to replace earlier outbuildings at the east end of the service courtyard.



Figure 40 The east front of Elsham Hall in the present day.



Figure 41 The South front of Elsham Hall in the present day.



Figure 42 The west front of Elsham Hall in the present day.



Figure 43 The north elevation of Elsham Hall in the present day.

The Wash Yard and Cellars

3.1.15 The cellars beneath the former north east service wing and the remaining wash yard will be the elements of the Hall most significantly impacted by the proposed development. As such they merit a more in-depth description. They include phases of construction that can be roughly categorised as 18th, 19th and 20th century.

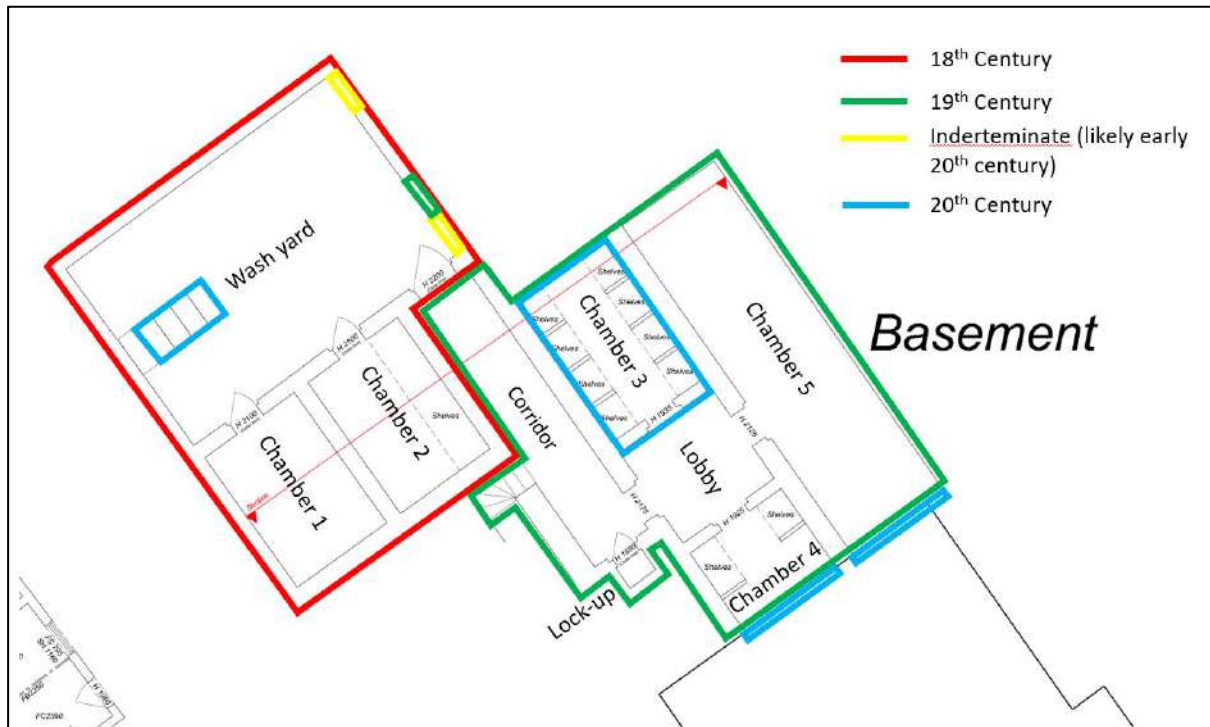


Figure 44 Phasing diagram for the basement level to the rear of Elsham Hall.

3.1.16 The earliest phase, which dates to the 18th century includes the majority of the sunken wash yard, the two small vaulted chambers to the south of this (Chambers 1 and 2) and a portion of the corridor which now provides access to the later 19th century cellar range. This fabric pre-dates the north east service wing's construction, and it therefore seems likely that it supported the running of the Hall as configured during the 18th century.



Figure 45 View over the wash yard looking south west.

3.1.17 The wash yard is a rectangular space measuring approximately 9 metres long by 6 metres wide. The floor of the yard is set approximately 1.8 metres below ground level and is surfaced predominantly in blue engineering bricks which appear to be of 19th century date. In the centre of the space is a rectangular stone threshold and a drain. Historic maps and plans indicate that the yard once had a lean-to pantile roof around its edge and there is still evidence in the stone threshold for the position of the original posts that supported this.

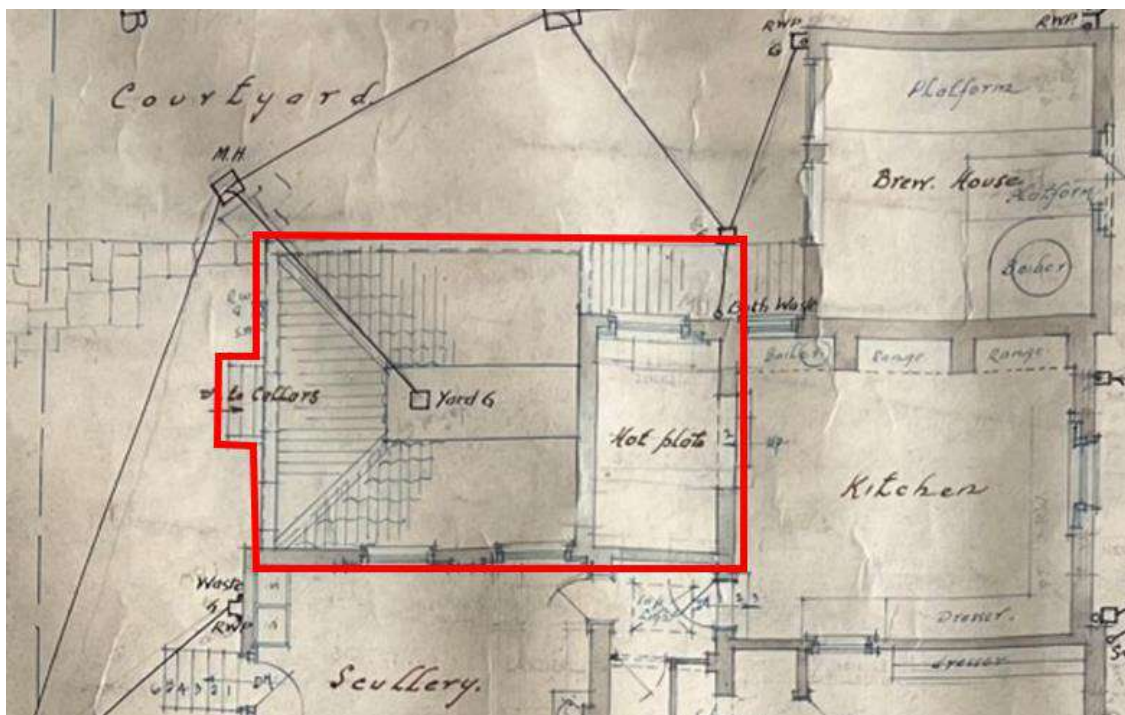


Figure 46 Excerpt from 1931 survey drawing showing the extent of the wash yard marked in red. Note the arrangement of the pantile roof, the open central yard with drain and the steps labelled "Dn to cellars". The drawing also shows how the 19th century service wing was extended over the yard at its east end with the room labelled "Hot plate".

3.1.18 In the south wall of the wash yard (Figure 47) there are three arched brick openings. The two right hand openings are narrow and each provides leads to a single vaulted chamber. The left-hand opening is wider and provides access to the remainder of the cellar range. Each doorway has a modern ledged and braced door with earlier iron strap hinges and pintols. Above the doorways is a raised parapet of 20th century buff brickwork which prevents falls from the raised terrace area to the south.



Figure 47 The south wall of the wash yard. The 18th century phase is marked in red and the 20th century brick parapet marked in blue.

3.1.19 The west side of the wash yard retains a substantial amount of original 18th century fabric as well as the main point of access which is via a centrally positioned timber gate and flight of steps. On the external side of the gateway the opening is framed by a pair of stone slabs mounted on end to act as hand rails. The gate itself is a modern timber design. The first three treads of the staircase are the original stone, but the remainder is a modern brick structure with concrete treads. The parapet wall to the right of the gateway is a modern reconstruction of 20th century date with stone slab copings.

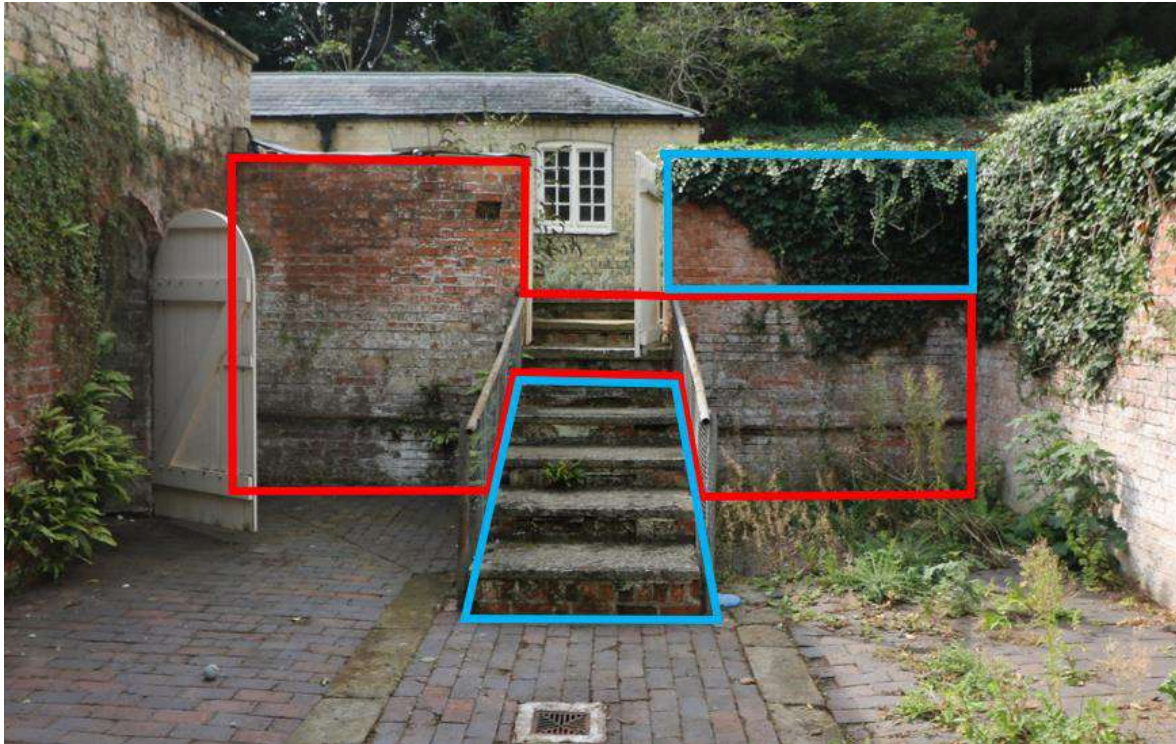


Figure 48 The west side of the wash yard with 18th century fabric marked in red and 20th century fabric in blue.

3.1.20 The north wall of the wash yard is the most plain in character with 18th century brickwork laid in English bond up to around 1.8 metres high and a reconstructed parapet of 20th century brickwork above.



Figure 49 The north wall of the wash yard. 18th century fabric marked in red and 20th century fabric marked in blue.

3.1.21 The east wall of the wash yard exhibits the most varied phasing. The 18th century phase includes a broad semi-circular arch with a central keystone which has been infilled in two phases with brickwork which appears to date from the 19th and 20th centuries. The infill implies that there may be a cellar chamber beyond, although this would require further investigation. The brickwork on the left hand side of the wall is also noticeably different in quality to the 18th

century phase, implying either rebuilding or possibly an infilled opening. Above is a parapet of buff 20th century brickwork similar to that found on the south wall of the yard.

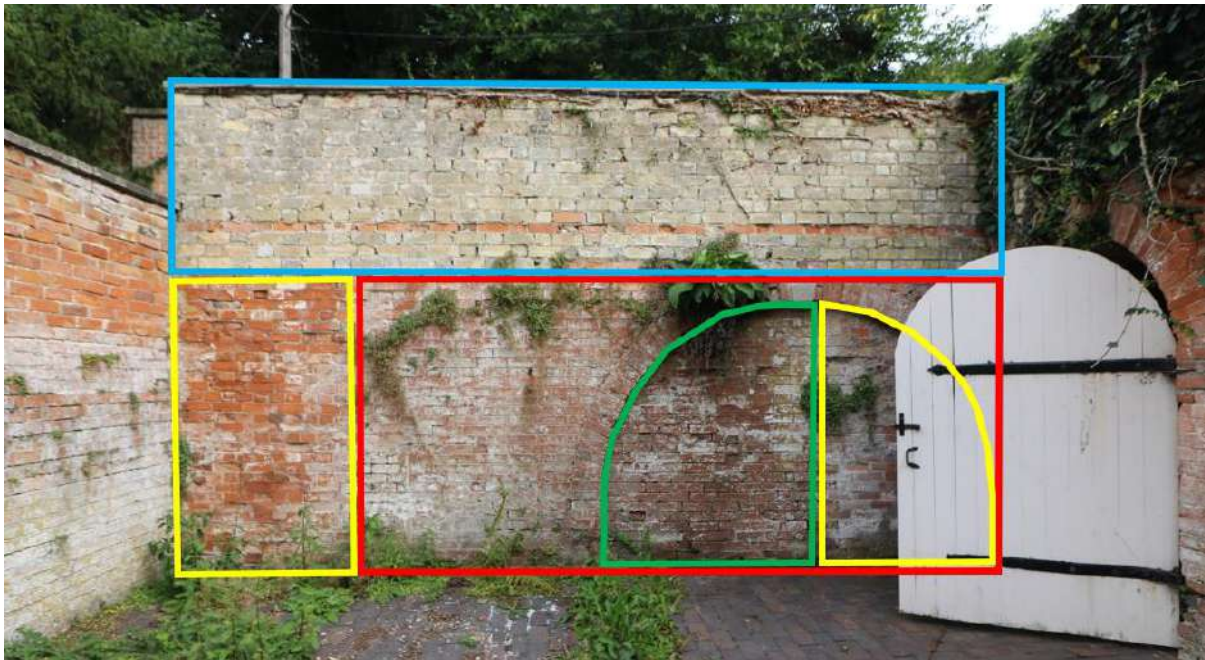


Figure 50 The east wall of the wash yard. 18th century fabric is marked in red, 19th century fabric in green and 20th century fabric in blue. The areas of brickwork marked in yellow are of indeterminate date, although believed to also date to the 20th century.

- 3.1.22 Chambers 1 and 2 are accessed from the wash yard are of a similar character. Both have semi-circular brick vaulted ceilings and include chalk stone blocks in coursed bands at low level. Their south walls are constructed from roughly coursed chalk stone blocks and each has a square air vent with metal grille which appears to postdate their original construction. The floors are paved with flagstones and Chamber 2 has in built shelving formed from stone slabs. There are patches of render over some areas of brickwork and Chamber 1 is in poor condition with the chalk stone blocks being particularly friable.
- 3.1.23 The left-hand door in the south wall of the wash yard accesses a brick vaulted corridor which leads back towards the Hall in a south easterly direction. On the right is a small flight of steps that leads back up to terrace level. At the end of the corridor is a small lock-up with a brick arched opening, stone shelving and a heavy timber door. To the left is an opening which leads to a lobby area. The corridor is narrower than Chambers 1 and 2 and appears to have been constructed in two phases. The brickwork on the vaulted ceiling and the west side is consistent in terms of its material and brick bond while the east wall of the corridor includes a long panel of buff brickwork along its full length. The floor is surfaced with brick.



Figure 51 The interior of Chamber 1



Figure 52 The interior of Chamber 2



Figure 53 The cellar corridor

- 3.1.24 The lobby (Figure 54) is a square space with vaulted ceiling which provides access to Chambers 4, 5 and 6. These cellars are believed to have been constructed in a single phase during the 19th century as part of the east wing extension to the Hall. Chamber 4 (Figure 55) is the smallest of the three and contains 19th century brick and stone shelving. Chamber 3 (Figure 55) to the north of the lobby contains 20th century brick and stone shelving. Chamber 5 (Figure 56) to the east of the lobby is the largest and runs the full length of the cellar complex from north to south. It contains a pair of redundant modern water tanks and supporting brick piers. The ceiling vaulting in all three chambers is plastered and whitewashed and the floors surfaced with flagstones.
- 3.1.25 At the southern end of both Chambers 4 and 5 is a 20th century infill brick wall which suggests that the cellars once extended beyond this point and possibly linked with cellars beneath the upstanding parts of the Hall. At the north end of Chambers 3 and 5 the brickwork appears to be contemporary with the vaulting, but both have a partially infilled air vent cut into them at high level. It is not known where these vents lead, but it seems likely that a further chamber may exist or existed previously to the north. The arched brickwork in the east wall of the wash yard is further suggestive of this.



Figure 54 The cellar lobby looking west towards the corridor.



Figure 55 Chamber 3 looking north (left) and Chamber 4 looking south (right).



Figure 56 Chamber 5 looking north.

Courtyard Outbuildings

3.1.26 To the north west of the Hall is a collection of outbuildings arranged around a central rectangular courtyard. These are a mixture of 19th and 20th century structures and appear to have been laid out as part of the same phase of construction as the now demolished East Wing.



Figure 57: Phasing diagram for the courtyard outbuildings to the north west of the Hall



Figure 58: General view of the courtyard outbuildings looking north west

3.1.27 On the east side of the courtyard the sense of enclosure is weakened by the gap left by the demolished East Wing. To the north of where this once stood, the tall courtyard wall continues northwards and includes an arched brick opening (Figure 59) which today serves as the main entrance to the yard. The sections of wall to the north and south of the arch include chalk stone blocks similar to those found in cellar Chambers 1 and 2. These are now heavily weathered and in poor condition.



Figure 59: The east side of the courtyard showing the main entrance arch

- 3.1.28 The north side of the courtyard is enclosed by a tall brick wall of early 19th century date against which are a series of lean-to brick and timber outbuildings. In the north west corner of the courtyard is a square store building which leans against the west wall of the courtyard (Figure 60). This is contemporary with the boundary wall and is constructed of red brick with a clay pantile roof. It has a timber door and a hatch in its south elevation, both with arched brick lintels. The hatch has an original wooden door with iron strap hinges.
- 3.1.29 To the right is a run of shallow plan lean-tos with a continuous pantile roof. The left part has a timber plank façade with timber sliding door and timber windows which appears to date to the early 20th century while the right hand section is early 19th century brick and has a pair of timber doors under arched brick lintels. The latter part is in poor condition with the brickwork spalling and the left hand door collapsing.



Figure 60: Outbuildings in the north west corner of the courtyard

- 3.1.30 To the right again is a run of three modern brick lean-to garages (Figure 61) which date to the mid to late 20th century. The left hand garage has double width doors under a concrete lintel and has a deep plan form and a corrugated metal roof. The right hand pair of garages have pantile roofs and timber doors with strap hinges.



Figure 61: Modern garages in the north east corner of the courtyard

3.1.31 On the western side of the courtyard (Figure 62) there is a second arched opening which acts as a secondary access point. To the south of this is a rectangular run of early 19th century lean-to store buildings constructed in brick with pantile roofs. These have three double width openings and a single width opening. The left and right hand openings have modern double doors with strap hinges while the central two openings are infilled with timber cladding panels.



Figure 62: Outbuildings on the western side of the courtyard.

3.1.32 In the south west corner of the courtyard, closest to the rear of the Hall is a free standing game larder constructed from English bond buff brickwork with a hipped slate roof. The larder is markedly different in character to the other more utilitarian outbuildings and is contemporary with the later 19th century phases of the Hall. It has timber panelled doors and glazing bar casement windows in brick arched openings and retains its cast iron rainwater goods.



Figure 63: The game larder

Significance

- 3.1.33 As a Grade II* listed building, Elsham Hall is a heritage asset of the highest significance.
- 3.1.34 Elsham Hall is of a high level of **aesthetic – designed value**. The 1930s remodelling of the building, and the reconstruction of the West wing in particular, has resulted in a polite and well-balanced robust design which is enhanced by its parkland setting.
- 3.1.35 Externally the south frontage is the building's principal elevation, and appears to have always acted as such throughout the building's many phases of construction (See Figure 21 and Figure 23). However, before the 1930s which saw the replacement of the 18th century west wing, the elevation had always been an asymmetrical one. Today the matching pair of projecting bays to the right and left, separated by a two storey central range, results in a consistently Neo-Classical and symmetrical façade of high quality. This symmetry is only interrupted by the smooth rendered finish of the 1930s left hand bay which contrasts with the fine coursed stonework of the remainder of the façade. Photographic evidence (Figure 27) shows that the bay, and the corresponding 1930s west wing, were originally faced with a stucco render with incised coursing lines designed to replicate the ashlar of the 19th century elements. Sadly this

finish was largely lost through re-rendering in the latter part of the 20th century and only survives on the less prominent and more utilitarian north elevation. In all other respects however, the left-hand bay is now identical to the right-hand one which was in itself modified in the 1930s to re-introduce the three separate windows at third floor level and a new parapet with decorative pediment.

- 3.1.36 The East frontage (Figure 40) contains the principal entrance to the Hall and was also heavily modified in the 1930s to introduce a symmetrical classical façade with a clear hierarchy of vertically arranged openings and a rendered finish. A projecting central bay with rusticated stucco base, quoins, venetian window and pediment frames the entrance and complements the design and ornamentation of the south elevation. The blind windows introduced on the left-hand side of the elevation to provide balance and symmetry are now largely obscured by climbing vegetation.
- 3.1.37 The West frontage (Figure 42) is also a symmetrical arrangement and features a central glazed door surmounted by an oriel window with copper roof and ball finial, vertically arranged sash windows with moulded surrounds, corner pilasters and cornicing. The stucco finish which once emulated the ashlar of the south frontage has unfortunately been replaced by a smooth render and architectural details such as the recessed panels below the first floor windows and the blind panels to the second floor have also been deleted. While the façade still possesses a good level of architectural integrity, the replacement render finish has detracted from its aesthetic – designed value.
- 3.1.38 The rear (north) elevation (Figure 43) of the Hall is of a more utilitarian and less consistent character. The U shaped plan form of the Hall and the balance between the east and west wings is still legible but has been interrupted to a degree by the construction of the 1930s Chapel infilling the rear courtyard and the boiler room which was added to the rear of the east wing. The fenestration to the elevation is inconsistent between the left- and right-hand sides and the raised concrete slabs that seal the basements of the demolished 19th century wing further detract from the aesthetic value of the elevation. Overall the north elevation compares very poorly with the other frontages, its utilitarian appearance resulting in a low level of architectural interest.
- 3.1.39 Elsham Hall's high aesthetic - designed value extends to the building's orientation and its intentional positioning within its landscaped setting. The west elevation is aligned with a tree lined lawn and a view corridor which looks out to the south west over the large ornamental lake. The south elevation also looks out over a large lawned area and is aligned with a long avenue of trees which extends to the south east. The east elevation enjoys less extensive views over the parkland but is nevertheless prominent as it marks the main point of arrival from the vehicular access drive and looks out onto a large gravel turning area. The rear service yard, by contrast has been intentionally screened by extensive tree planting in order to soften the impact of its more utilitarian qualities in wider views across the parkland.
- 3.1.40 Internally the Hall was extensively reconfigured in the 1930s and following the Second World War, but retains many lavish design features including a grand central staircase, plaster cornices and decorative chimney pieces.

- 3.1.41 In summary, the high aesthetic – designed value of Elsham Hall is strongest on the south, east and west elevations, but also extends to its intentional orientation within a designed landscape and its interior character. The north elevation is of the least aesthetic value in its existing configuration, but this is to be expected for a more functional facade that looks onto a rear service yard.
- 3.1.42 Elsham Hall is of a moderate degree of **historical – illustrative value**. Its phased construction is most readily legible in the contrast between the ashlar stonework of the 19th century elements of the south façade and the rendered finish of the later 1930s west wing. The changes carried out in the 1930s are part of a long succession of continuous development of the Hall as a notable example of a small Country House. and east front between the 17th and 20th centuries are representative of the evolution of an English Country House.
- 3.1.43 The Hall's parkland is believed to have been associated with either the 12th century Augustinian Priory or the Bishop of Lincoln's manorial complex due to the presence of the lake which originated as a medieval fishpond. The chalk block construction of elements of Chambers 1 and 2 of the cellars and part of the courtyard perimeter wall is also strongly suggestive of the re-use of earlier medieval construction materials. Archaeological evidence in the form of a medieval cemetery and dissolution era chalk demolition debris indicates that the Priory was located to the south of Church Street and it seems likely that its construction materials could have been repurposed in the construction of some elements of Elsham Hall.
- 3.1.44 Elsham Hall is of a high level of **historical – associative value** by virtue of its association with a succession of prominent owners (including the Thompson, Corbett, Anstey and Elwes Families and King's College Cambridge) and its requisitioning during the Second World War by the RAF as an anti-aircraft headquarters.
- 3.1.45 The Hall is also of moderate **communal – social value** having played a prominent role as the most substantial residence in the settlement of Elsham since at least the 18th century. Its communal value has also been enhanced since the Hall's grounds were made publicly accessible by the Elwes Family in 1970.
- 3.1.46 The service courtyard to the rear of the Hall has a high archaeological potential having been the site of longstanding activity since at least the high medieval period. This fact affords the courtyard and parts of the cellars a moderate **evidential value** due to their high potential to reveal evidence of past human activity on the Site if subjected to further assessment. The outbuildings themselves are a collection of mostly vernacular structures of varied design and age. The older outbuildings and attached boundary walls date to the 19th century and are of moderate **historic illustrative value** by virtue of their phasing and contribution to the interpretation of the Hall's development over time. In addition, the game larder, with its polite design and high quality materials, possesses a moderate level of **aesthetic-designed value**.
- 3.1.47 The wash yard and cellars to the rear of the Hall are physically attached to it and once formed part of the now demolished rear service wing. As such they form part of the principal listed building and should also be considered grade II* listed. The significance of these elements has been substantially reduced through the loss of their contextual relationship with the rear wing. However, they still provide tangible physical evidence for the presence and extent of the

demolished service wing which once supported the day-to-day function and upkeep of the Hall as a country house.

- 3.1.48 The 19th century elements of the cellars retain a moderate degree of **historic – illustrative value** due to their age and phasing and a minor degree of **aesthetic -designed** value by virtue of their vaulted brick design and incorporation of stone shelving. However, the sunken wash yard and the earlier 18th century vaults (chambers 1 and 2) are of relatively higher **historic – illustrative** and **aesthetic – designed value** due to their earlier date, their incorporation of bands of re-used chalk blocks (thought to have possibly been reclaimed from the medieval Augustinian Priory) and the unusual nature of the sunken wash yard as an architectural feature. The wash yard is a characterful space which is readily visible from above ground level. Its incorporation of 18th century brickwork, the three cellar access doors and other fragments of historic fabric also contribute to its overall significance.
- 3.1.49 While the cellars and wash yard therefore possess some significance, their general appearance has been severely compromised by the integration of areas of poor quality brickwork, the concrete capping over the cellars and the overall sense of dilapidation arising from underuse and lack of maintenance. The demolition of the 19th century service wing in the 1940s also eroded the rear yard's sense of enclosure, something which is only informally addressed by the existing line of trees and shrubs. Consequently, the rear yard's current condition and appearance is wholly unsatisfactory and results in an adverse impact on the setting and significance of the upstanding elements of Elsham Hall whilst jeopardising the ongoing survival of the wash yard and cellars. For these reasons, a program of remediation which addresses these issues is now urgently required.

4 IMPACT ASSESSMENT

4.1 SCOPE OF ASSESSMENT

- 4.1.1 This section considers the direct and indirect impacts of the proposed development upon the significance of known and potential designated and non-designated heritage assets.
- 4.1.2 The scope of assessment gives due respect to Paragraph 194 of the NPPF in efforts to undertake a sufficiently diligent and proportionate approach: *“In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets’ importance and no more than is sufficient to understand the potential impact of the proposal on their significance. As a minimum the relevant historic environment record should have been consulted and the heritage assets assessed using appropriate expertise where necessary.”*

4.2 DIRECT IMPACTS

- 4.2.1 Building works are the main source of direct impacts from a proposed development. Such works can cause direct impacts upon the significance of heritage assets, and through the removal or truncation of any below-ground archaeological deposits that may exist within the Site.
- 4.2.2 Works that sustain, maintain, preserve or enhance the significance of heritage assets are beneficial, bringing about a degree of public benefit that, commensurate with the works and significance of the asset are due a positive material consideration in the planning balance. Should a programme of works present an optimal re-use of a designated heritage asset and/or secure its ongoing use, they also weigh positively within the planning balance.
- 4.2.3 Works that erode those elements of a heritage asset that have heritage significance are detrimental and are due a negative weight in the planning balance.
- 4.2.4 In the majority of developments, both positive and negative impacts occur, and as such a balance should be struck to ensure that the overall impact is positive or neutral, or that the degree of harmful impact is outweighed by the public benefits of other elements of an application for planning permission.
- 4.2.5 One designated heritage asset was identified within the Site boundary, the Grade II* listed Elsham Hall.

ELSHAM HALL

- 4.2.1 The Design and Access Statement that accompanies the application for listed building consent and planning permission provides a comprehensive assessment of all relevant matters affecting the design of the proposed scheme. This assessment focusses solely on the impact that the scheme will have upon the heritage significance of Elsham Hall as a designated heritage asset and the ways in which the designs have responded to this.
- 4.2.2 During the proposal’s design development, two potential layout options have been considered for the orientation and size of the proposed swimming pool extension. Both options result in

excavation and the removal of historic fabric to some degree. However, they also provide beneficial enhancements to the Hall's setting while addressing the lack of enclosure and the deteriorating condition of the cellars and wash yard. A third option, proposing a separate pool house building constructed on the existing tennis court, was also briefly considered. The advantages and disadvantages of each option are discussed in more detail in the table below.

Description of proposal	Advantages	Disadvantages
<p>Option 1 (Figure 64): A linear extension which acts as a continuation of the Hall's east wing and adjoins the existing boiler house. The swimming pool element is positioned at the north end of the extension with a small garden room at the south end.</p>	<ul style="list-style-type: none"> • The extension would be rationally aligned with the position of the former 19th century wing and act as a logical continuation of the existing boiler room, thus minimising any obscuring effects on the rear elevation of the Hall from the rear courtyard. • The alignment would contribute to a greater sense of enclosure of the rear yard which is currently open on the east side apart from a belt of trees and other planting. • The layout would minimise impact on the wash yard as a functional space and preserve access to the existing cellars. • The setting of the rear of the Hall would be improved through relaying of the concrete slabs and re-landscaping of the existing raised terrace areas to provide outdoor amenity space for the occupants. The renewal of the slabs would help to prevent ongoing water ingress and deterioration of the remaining vaulted cellars. • The extension would provide an additional recreational facility for the occupants and contribute to their health and wellbeing. Its location would be easily accessible from the ground floor of the Hall. 	<ul style="list-style-type: none"> • The construction of the swimming pool would result in the loss of a substantial part of the 19th century vaulted cellars, namely the northern part of Chamber 5 and the whole of Chamber 3. It would also likely necessitate the reconstruction or structural reinforcement of the east wall of the wash yard leading to a potential loss of 18th century fabric. • The existing stair that provides access to the south end of the corridor would also be closed off at terrace level. • The orientation of the extension would provide little differentiation between the more private, domestic garden area and the functional service courtyard. • The interior space provided by this layout would be relatively constrained leaving less useable internal floor area for a sitting/garden room.

<p>Option 2 (Figure 65):</p> <p>A roughly L shaped extension with the proposed swimming pool oriented east/west and positioned partially within the wash yard and the garden room placed alongside the existing boiler room.</p>	<ul style="list-style-type: none"> • The alignment of the extension would contribute to a greater sense of enclosure of the rear yard which is currently open on the east side apart from a belt of trees and other planting. • The layout would provide a clear delineation between the functional service courtyard to the north and a more domestic, private garden area to the south. • The layout minimises the impact on the known cellar chambers, retaining access to all of them. • The setting of the rear of the Hall would be improved through relaying of the concrete slabs and relandscaping of the existing raised terrace areas to provide outdoor amenity space for the occupants. The renewal of the slabs would help to prevent ongoing water ingress and deterioration of the remaining vaulted cellars. • The layout provides a substantial internal space divided into two functional areas (garden room and swimming pool) but would not exceed the overall footprint of the demolished 19th century wing. • Its location would be easily accessible from the ground floor of the Hall. 	<ul style="list-style-type: none"> • The layout will result in the near total loss of the 18th century wash yard. The north wall and most of the west and east walls of the yard would be demolished along with the existing access gateway. The stone steps and handrails of the gateway would be relocated to the new access point in the west wall. • The existing stair that provides access to the south end of the corridor would be closed off at terrace level. • The extension's orientation would partially obscure the rear elevation of the Hall in views from the service yard.
<p>Option 3:</p> <p>Construct a new free standing pool house building on the existing tennis court</p>	<ul style="list-style-type: none"> • Building on the tennis court would avoid any direct impacts on the historic fabric of Elsham Hall • The new building would be screened by vegetation to the north, west and east. 	<ul style="list-style-type: none"> • The new building would do nothing to improve the rear yard's sense of enclosure or address the poor condition and appearance of the cellars and wash yard. It would therefore result in no net benefit to the condition, setting and significance of Elsham Hall.

		<ul style="list-style-type: none">• The new building would be visible in views from the south and would have the potential to impact negatively upon the parkland setting and east elevation of Elsham Hall.
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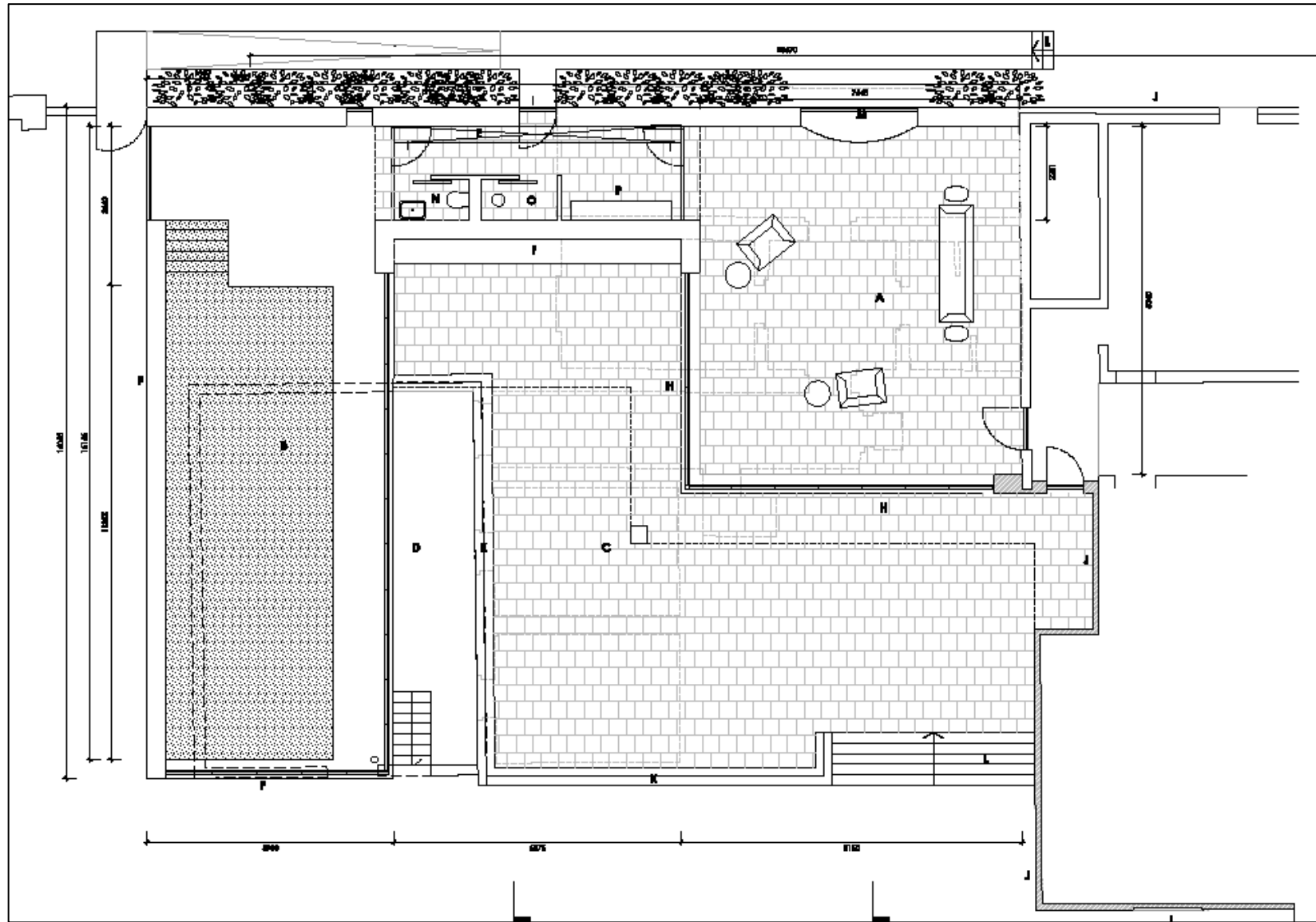


Figure 65 Proposed Option 2 (Jonathan Hendry Architects).

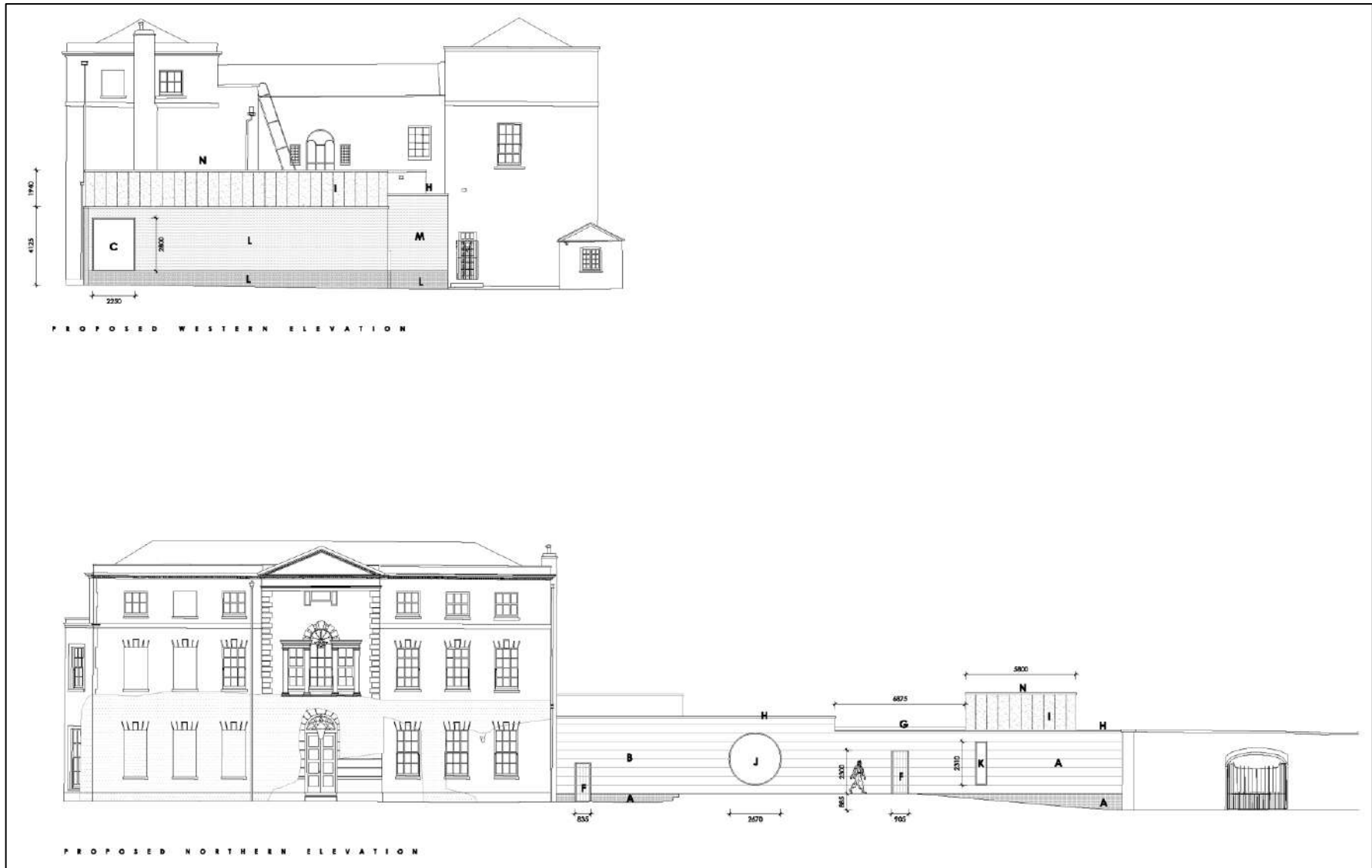


Figure 66 Proposed Option 2 – north and east elevations (Jonathan Hendry Architects).

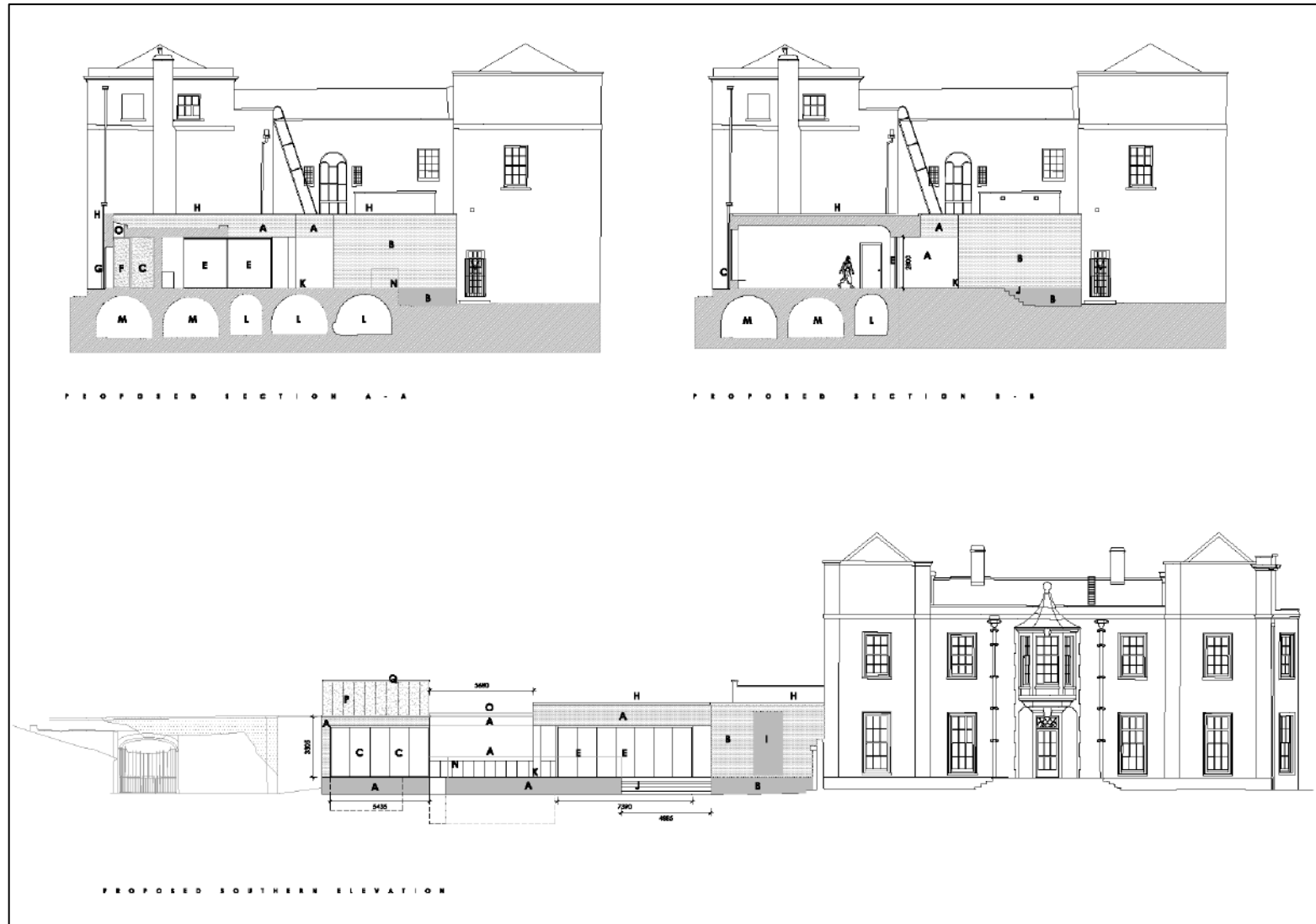


Figure 67 Proposed Option 2 sections and west elevation (Jonathan Hendry Architects).

Preferred Extension Option

4.2.3 Option 2 has been selected as the preferred option. The physical impacts on the historic fabric of the wash yard and cellars are roughly equivalent to those of Option 1 while both options would ameliorate the lack of enclosure, poor condition and dilapidated appearance of the rear service yard. However, Option 2 provides the additional benefits of improving the delineation between the functional and domestic parts of the rear yard and providing a slightly larger internal floor area with two distinct spaces (swimming pool and garden room). Option 3 has been discounted as it would fail to address the condition, appearance and sense of enclosure of the rear courtyard and would fail to benefit the setting of Elsham Hall.

Discussion of Proposed Extension

4.2.4 The proposed extension is a single storey structure intended to house a garden room and swimming pool. It has a roughly L shaped Plan with the swimming pool oriented east/west and positioned partially within the sunken wash yard and the garden room positioned alongside the existing boiler room and accessed from the east corridor on the ground floor of the Hall. A raised terrace is provided by re-landscaping the existing concrete capping over the cellars and the retained element of the wash yard will allow these to remain accessible.

4.2.5 In terms of elevation treatment, the proposed extension takes a contemporary approach with a simple, low-profile design that integrates large areas of glazing. A high quality palette of materials which complement the character and colour palette of the Hall's masonry has been chosen. Facing the private courtyard the extension will be primarily clad with facing brickwork, reflecting the character of structures such as the game larder. Externally the extension will be faced with stonework, incorporating incised rustication that references the character of the Hall's polite elevations. This material will also be used to re-elevate and integrate the existing boiler room into the extension, mitigating the impact of this later addition and resulting in a long east elevation that resembles a garden wall.

4.2.6 The physical impacts on historic fabric will be concentrated within the wash yard where the bulk of the swimming pool will be located. The north wall of the wash yard will be entirely demolished while the majority of the east and west walls would be demolished. Some mitigation for these losses is provided by the retention of the southern part of the yard and through the retention of the access doorways to the cellars and the re-use of the stone steps and handrails currently located at the gateway. The scheme will also minimise loss of fabric to the existing range of cellars.

4.2.7 Overall, the direct impact of the scheme is considered to result in less than substantial harm, at the lower end of the scale, to Elsham Hall's significance as a highly graded listed building. The loss of 18th and 19th century historic fabric is harmful and will affect the interpretation of the cellars and wash yard and their contribution to the overall significance of Elsham Hall to a modest degree. However, it should be acknowledged that the cellars and wash yard are now but a vestige of a former wing, demolished many years prior to the building's designation. While they do contribute to the **aesthetic – designed** and **historical – illustrative value** of the building, this contribution is minor. Had these elements also been removed as part of the demolition works in the 1940s, the Hall would still possess a similar if not equivalent level of heritage significance to warrant its formal designation as a highly graded listed building.

- 4.2.8 The low stature of the extension will ensure that it is strictly subordinate to the Hall whilst also sitting comfortably alongside the other single storey courtyard buildings. The choice of complementary materials maintains the hierarchy between the principal building and its ancillary facilities to the rear while the amelioration of the wash yard and cellar's present condition will substantially benefit the setting of the Hall. Further benefits for the occupants are gained by providing an additional recreational facility, a more useable private amenity space and a clearer delineation between the domestic and functional areas of the rear courtyard.
- 4.2.9 The scheme will also secure the long term survival of the existing cellar chambers which will be safeguarded against further water ingress and damage by the renewal of the concrete capping and a programme of sensitive structural repair and conservation works.
- 4.2.10 Whilst the scheme therefore results in less than substantial harm to the significance of Elsham Hall the impact of this has been mitigated and minimised as far as possible and would be clearly and convincingly outweighed by the benefits of the proposal. The works provide complementary recreational facilities for the current occupants, ameliorate the appearance of the concrete slabs and mismatched brickwork over the cellars, secure the long term conservation of retained historic fabric and contribute to a greater sense of enclosure within the rear service yard. As such the scheme should be viewed favourably in the planning balance.

Works to Outbuildings

- 4.2.11 The proposed development also includes works to the courtyard outbuildings which are curtilage listed structures by virtue of their close physical and historical association with Elsham Hall (the principal listed building). Some of the historic structures have fallen into disrepair and disuse, while the modern garages are of no particular historic or architectural interest and do not contribute positively to the significance of the Site. The works include the following:
- Repairs to the roofs and brickwork of all the historic structures,
 - Repair of windows and doors on the game larder and outbuildings in the north west corner of the courtyard
 - Replacement of modern timber doors and panels on the lean-to buildings to the west side of the courtyard with Crittal windows and doors
 - Demolition of the three modern garages in the north east corner of the courtyard
 - Construction of a new lean-to glasshouse in the north west corner of the courtyard
- 4.2.12 The proposed repairs to the brickwork, roofs, windows and doors will have a positive impact on the character and appearance of the outbuildings and facilitate their ongoing use. The replacement of the modern timber doors and panels to the buildings on the west side of the courtyard with Crittal windows and doors would not impact on their historic fabric and would enable these buildings to be put to a wider range of active uses by providing natural light to their interior.

4.2.13 The demolition of the modern garages in the north east corner of the courtyard would not lead to a loss of historic fabric and would have a neutral impact on the historic and architectural significance of the courtyard buildings. Their replacement with a functional lean-to glasshouse would provide a direct replacement for the greenhouse which is currently located to the rear of the Hall and would have a similarly neutral impact on the significance of the outbuildings and the immediate setting of Elsham Hall.

ARCHAEOLOGY

Potential and Significance of Human Activity within the Site

- 4.2.14 Known archaeological remains have been found predominantly where fieldwalking activity has taken place, predominantly on ploughed fields. Thus, it is relatively unsurprising that the areas which have been fieldwalked are archaeologically overrepresented within the HER data. However, areas to the east of the Site which have been fieldwalked, contain significantly more remains from a much wider time period than other areas to the northwest which have been subject to fieldwalking activity. Thus, although it is impossible to say for certain, there does appear to be more concentrated activity for a longer time to the southeast of the village.
- 4.2.15 Mesolithic and Neolithic activity is known within the study area, particularly to the east of the Site. Although there are no remains known within or near the Site, evidence from the surrounding landscape indicates an elevated, moderate, potential for Mesolithic and/or Neolithic activity. Such activity may be semi-transitory or sedentary in nature, evidence for which would have a regional level of archaeological interest.
- 4.2.16 The study area and nearby environs contains Bronze Age funerary monuments, along with evidence for semi-transitory or sedentary activity distinctly separated from the funerary monuments. There is no direct evidence of the Site having been exploited during this period, and no evidence of it being a contributing part of the funerary landscape. However, there is a moderate potential for activity having occurred on the Site within the Bronze Age. Such activity is most likely to be semi-transitory or sedentary in nature, which would have a regional level of archaeological interest.
- 4.2.17 There is evidence of Iron Age, Roman British, and early Medieval sedentary activity in the surrounding landscape and there is a moderate potential for activity having occurred on the Site at this time. Based on the vicinity from the assumed sedentary activity, activity on the Site would most likely be agricultural in nature, which would likely have a local level of archaeological interest.
- 4.2.18 Sedentary, ecclesiastical and agricultural Medieval activity is known within the study area. However, the type of activity on the Site at this time is not fully known and evidence is somewhat contradictory regarding the location of a priory in the region of the Site. There is a low potential for ecclesiastical activity of a regional level of archaeological interest, and a high potential for agricultural activity, potentially connected to priory lands, evidence for which would have a local level of archaeological interest.
- 4.2.19 Activity within the Site in the post Medieval period and 18th century to modern period includes the building and several phases of rebuilding and improvements of Elsham Hall. The basements, and possibly other, as yet unknown, foundations or basement areas, seem to have

reused earlier chalk material, potentially connected with the Medieval priory. There is a certainty for post Medieval activity having occurred, evidence for which has a local to regional level of archaeological interest, with the higher interest levels being connected with the earlier phases of the hall and the reuse of early material.

Potential for Survival

- 4.2.20 Successive phases of the construction of Elsham Hall and associated buildings within the Site are highly likely to have cut through soils dating to early periods of human activity, particularly in the footprint of basements and sunken features.
- 4.2.21 Activity which leaves an ephemeral presence in the landscape, such as early prehistoric transitory activity, or activity with limited ground disturbance, such as early Bronze Age, or Neolithic sedentary activity, or agricultural activity from any period, has a very low potential, at most, to have survived successive phases of post-Medieval construction.
- 4.2.22 Iron age, Roman British, and early Medieval activity, although generally better defined as features within the archaeological record compared to earlier periods, has a limited potential to have survived in a way that preserves any meaningful level of archaeological interest.
- 4.2.23 Medieval agricultural activity, with relatively shallow features, that are easily disturbed by successive phases of building has a limited potential for survival. However, Medieval building activity has some potential to survive.
- 4.2.24 Post Medieval activity has a good potential for survival, at least in part.

Impact of Proposed Development

- 4.2.25 The magnitude of groundworks associated with the development is localised compared to the Site as a whole. However, the proposed works have the potential to encounter surviving archaeological remains.
- 4.2.26 Site works will be primarily into existing built features of Elsham Hall and previously disturbed soils. There is anticipated to be limited, disturbance into a horizon that predates the post Medieval period. There is a low potential for encountering Medieval remains of a regional level of archaeological interest.
- 4.2.27 Development has a high potential to encounter post Medieval remains of a local level of archaeological interest and a low potential to encounter post Medieval remains of a regional level of archaeological interest.
- 4.2.28 Overall, the likelihood of the proposed development impacting on remains of greater than regional interest is low.

4.3 INDIRECT IMPACTS

- 4.3.1 The NPPF definition of the setting of a heritage asset is *'The surroundings in which a heritage asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral.'*

- 4.3.2 Indirect impacts of development upon a heritage asset have a palpable effect, for better or worse, upon its significance. Impacts can be associated with all sensory experiences of an asset, but are typically associated with views.
- 4.3.3 Merely appearing in conjunction with a heritage asset within a view may not necessarily bring about a harmful impact to its experience. New development must in some way either enhance an experience or detract from it in order to bring about an indirect impact. Impact that makes no material change to the experience of an asset’s significance is neutral.

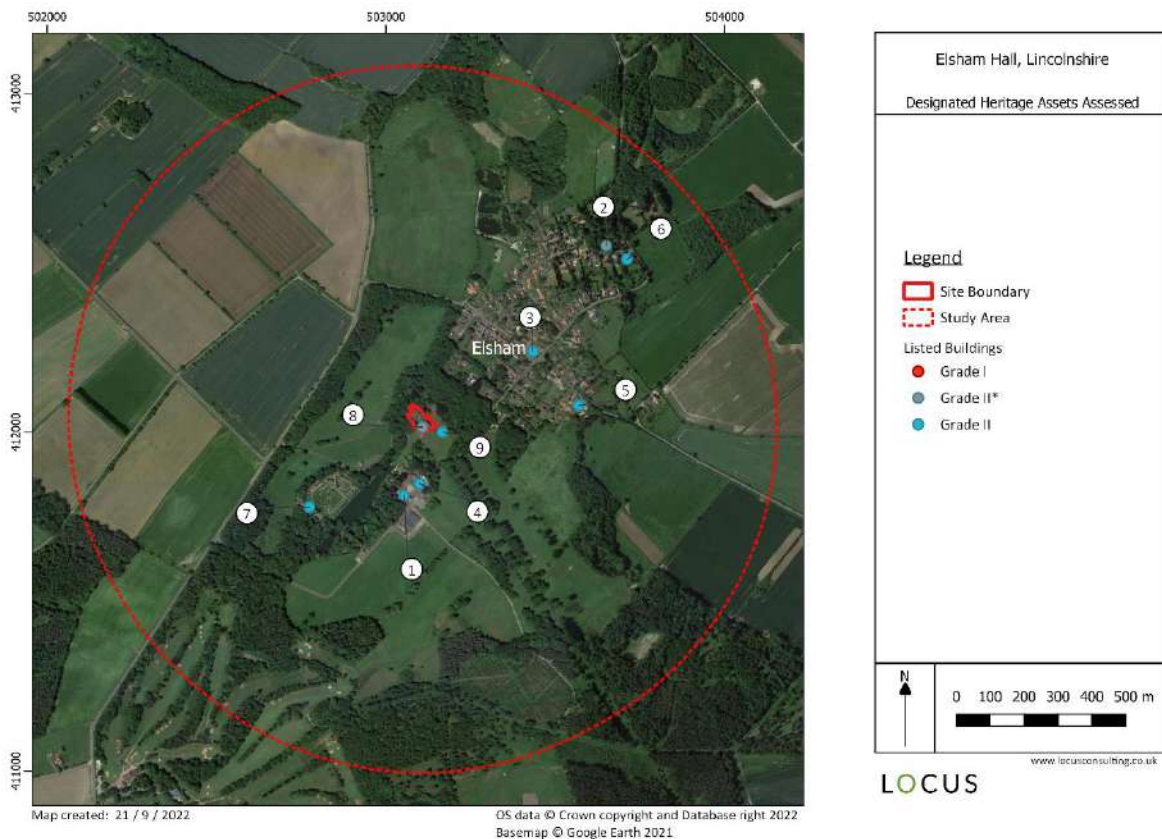


Figure 68: Designated heritage assets within study area

4.3.4 An initial review demonstrated that a total of 9 designated heritage assets and 0 non-designated heritage assets were within the 1km search area with the potential ability to be indirectly impacted upon by the proposed development in principle. However, subsequent to analysis confirmed by a site visit, it was noted that no additional heritage assets would require a detailed setting study, as set out in the table below. The proposed scheme’s location to the rear of Elsham Hall and its discreet position within the surrounding landscape would result in no discernible impact on the setting of other designated heritage assets within the study area.

Map Ref	Name	Type	NHLE Ref	Grade	Setting Assessment Required?
1	THRESHING BARN AND ADJOINING CARTSHED/WORKSHOP/STABLE/GRANARY	Listed building	1103683	II	No

	RANGES APPROXIMATELY 200 METRES SOUTH OF ELSHAM HALL				
2	CHURCH OF ALL SAINTS	Listed building	1103684	II*	No
3	MANOR HOUSE	Listed building	1103685	II	No
4	COACH HOUSE AND STABLES APPROXIMATELY 150 METRES SOUTH OF ELSHAM HALL	Listed building	1204625	II	No
5	THE MOUNT	Listed building	1204656	II	No
6	1, CHURCH STREET	Listed building	1204662	II	No
7	GARDEN WALL APPROXIMATELY 300 METRES SOUTH WEST OF ELSHAM HALL	Listed building	1281098	II	No
8	ELSHAM HALL	Listed building	1281128	II*	Yes - Site
9	ORANGERY APPROXIMATELY 50 METRES EAST OF ELSHAM HALL	Listed building	1346845	II	No

4.3.5 The impact on the setting of Elsham Hall will be limited to the obscuring effect that the new extension will have on its rear elevation when viewed from the rear service yard. However, it should be recognised that the former 19th century service wing was a far more substantial structure than the low profile single storey extension now proposed. Any obscuring impact on views of the rear elevation of the Hall (which is of low aesthetic - designed value) will be minimal in comparison and should be afforded very little weight in the planning balance.

5 CONCLUSIONS AND POSITION

Conclusions

- 5.1.1 Elsham Hall is a Grade II* listed country house which is in use as a private residence.
- 5.1.2 No other heritage assets lie within the Site or may be indirectly impacted upon by the proposed scheme of works.
- 5.1.3 The proposed scheme includes a programme of repairs and alterations to the existing courtyard outbuildings, the demolition of modern garages, the construction of a lean-to greenhouse and construction of a single storey rear extension intended to house a garden room and swimming pool.
- 5.1.4 Elsham Hall dates to the 17th century with possible earlier origins. The building has been modified and expanded in multiple phases throughout its history. The current Hall includes the 18th century east wing and a canted bay and central range to the south front. However, these were heavily remodelled by the Elwes Family in the 1930s when the former west wing was demolished and rebuilt to create a symmetrical south elevation. In addition, the substantial rear service wings constructed during the 19th century were demolished shortly after the Second World War leaving behind the concrete capped cellar range and a wash yard that survive to the present day.
- 5.1.5 The scheme's direct impacts on the significance of Elsham Hall are concentrated on the largely 18th century wash yard where the bulk of the swimming pool will be positioned. The loss of historic fabric is harmful, but will be mitigated to some degree by the retention of the southern portion of the wash yard and the existing access doors to the cellar range. The cellars themselves will be preserved in situ and protected from further deterioration by the renewal of the concrete capping and relandscaping work to the raised terraces.
- 5.1.6 The extension's design has been developed as a simple low profile structure with large areas of glazing in order to retain a strict hierarchy between it, as a later addition, and the historic elements of Elsham Hall. Its plan form and layout have also been formulated to create a delineation of functional and domestic space in the courtyard and to improve the sense of enclosure.
- 5.1.7 While the Site works will impact primarily on existing built features of Elsham Hall and previously disturbed soils, there is anticipated to be limited disturbance into a horizon that predates the post Medieval period. Overall, there is a high potential to encounter post Medieval remains of local interest and a low potential to encounter Medieval and post Medieval remains of a regional level of interest. The likelihood of the proposed development impacting on remains of greater than regional interest is, therefore, low.
- 5.1.8 The scheme of works to the outbuildings is of a generally minor nature. The proposed repairs would bring them back into active use consistent with their conservation and have a beneficial impact on their condition. The most significant change proposed is the demolition of the modern garages, but these are of no architectural or historic interest and their demolition would not bring about the loss of historic fabric. The works to the courtyard outbuildings

would therefore have a neutral impact on their significance as curtilage listed structures and would have a neutral impact on the setting and significance of Elsham Hall itself.

- 5.1.9 Overall the scheme will result in less than substantial harm at the low end of the scale to the significance of Elsham Hall. The impact of this has been mitigated and minimised as far as possible through design and would be clearly and convincingly outweighed by the benefits of the proposal. The works provide complementary recreational facilities for the current occupants, ameliorate the appearance of the concrete slabs and mismatched brickwork over the cellars, secure the long term conservation of retained historic fabric and contribute to a greater sense of enclosure to the rear service yard. As such it is considered that the scheme should be viewed favourably in the planning balance.

Recommendations

- 5.1.10 A scheme of building recording should be undertaken to record the current character of those elements of the wash yard to be demolished.
- 5.1.11 Due to the potential for discovery of potentially Medieval fabric, most likely as part of a reuse of an earlier phase of the hall, archaeological monitoring is likely to be required as a condition of approval. The monitoring should concentrate on areas where there is potential for the discovery of unknown archaeology, such as the potential chamber north of the wash yard, and excavation to the west of the wash yard. Ground disturbing activity above the extant basements does not have the potential to yield any meaningful data which is not already known and recorded, thus monitoring in these areas would be unnecessary.
- 5.1.12 It is recommended that the structural repair and conservation works to the cellar chambers and retained elements of the wash yard are secured through the agreement (by condition) of a suitable schedule of works and method statement.

Position

- 5.1.13 In bringing about a less than substantial degree of harm, at the low end of the scale, to the significance of the Grade II* Elsham Hall, the proposed extension does not wholly align with the objectives set out in Sections 16 and 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990, Paragraph 189 of the NPPF, Policy CS6 of the North Lincolnshire Council Core Strategy (Adopted June 2011) and saved Policies HE5 and HE9 of the North Lincolnshire Local Plan (Adopted May 2003).
- 5.1.14 However, accounting for the benefits of the proposed scheme of works and bearing in mind the specific wording of Paragraph: 020 Reference ID: 18a-020-20190723 of the national PPG, a modest degree of positive weight should be afforded to the public benefits of the scheme in the planning balance in accordance with Paragraph 197 of the NPPF.
- 5.1.15 In accordance with Paragraph 200 of the NPPF, the less than substantial degree of harm arising from the proposals has been clearly and convincingly justified and would be outweighed by the public benefits of the scheme.

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Mapping

Range of Historic Ordnance Survey mapping, available through the *National Library of Scotland*,
<https://maps.nls.uk/geo/find/#zoom=16.0&lat=53.59695&lon=-0.43782&layers=101&b=1&z=0&point=53.59536,-0.44171>

And Google Earth©

APPENDICES

APPENDIX 1: ASSESSMENT METHODOLOGY

Aims and Scope

The aim of this assessment is to assess the magnitude of any potential impacts which may be imposed upon the historic environment resource by the proposed development.

GPA 2: Managing Significance in Decision-Taking in the Historic Environment (Historic England, 2015), provides information to assist local authorities, planning and other consultants, owners, applicants and other interested parties in implementing historic environment policy in the National Planning Policy Framework (NPPF) and the related guidance given in the Planning Practice Guidance (PPG). These include; assessing the significance of heritage assets, using appropriate expertise, historic environment records, recording and furthering understanding, neglect and unauthorised works, marketing and design and distinctiveness.

For the purposes of assessing potential impact on the setting of heritage assets, the procedures laid out within the Historic England document Historic England Good Practice Advice Note 3: The Setting of Heritage Assets (Historic England, 2017) have been followed.

Advice set out within the Historic England documents Conservation Principles, Policies and Guidance (English Heritage, 2008), Management of Research Projects in the Historic Environment: The MoRPHE Project Manager's Guide (Historic England, 2015), and the Chartered Institute for Archaeologists' (CIfA) Standard and Guidance: historic environment desk-based assessment (Chartered Institute for Archaeologists, 2014) have been followed.

This report follows the Principles of Cultural Heritage Assessment (CHIA) guidance developed jointly by IEMA, IHBC and CIfA in July 2021. This document sets out a standardised framework which can be used to assess the impact of proposed works on cultural heritage assets and their significance, thus supporting their sustainable management.

The Heritage Resource

The heritage resource is divided into two broad categories, designated heritage assets and non-designated heritage assets. Designated heritage assets are considered to be of national and regional importance, whilst non-designated heritage assets are considered to be of local importance.

Designated heritage assets consist of:

- World Heritage Sites
- Scheduled Monuments
- Listed Buildings
- Registered Parks and Gardens
- Registered Battlefields
- Protected Wreck Sites

- Conservation areas (for the purposes of this assessment, conservation areas will be included as designated heritage assets)

The various elements of the heritage resource have been taken into account, and the potential development impacts upon them considered.

Sources

The following sources of heritage and planning data and information were consulted as a minimum:

Designated Heritage Asset data

These datasets are available from Historic England and contain data on all recorded designated heritage assets in England, i.e., World Heritage Sites, Scheduled Monuments, Listed Buildings, Registered Parks and Gardens, Registered Battlefields and Protected Wreck Sites. The data was consulted in October 2022.

Non-Designated Heritage Asset data

Non-designated heritage assets are included in the North Lincolnshire Historic Environment Record (HER). A search of this was conducted in October 2022.

Cartographic Sources

Historic mapping was obtained online. Information from historic maps, other than tracing the above-ground development of a Site or place, can assist in the assessment of archaeological potential by highlighting previously unrecorded features, enabling an understanding of how the land has been managed in the recent past and identifying areas where development is likely to have removed or truncated below-ground archaeological deposits. All maps consulted are listed in the References of the main report.

National Legislation and Planning Documents

The treatment of the historic environment within a development and planning context is governed by legislation and national policy set out by the National Planning Policy Framework (NPPF), which itself dictates local authority planning policy. All relevant national and local planning policy documents were consulted in October 2022 and are detailed in Appendix 2.

Assumptions and Limitations

Much of the information used by this assessment consists of secondary information compiled from a variety of sources. The assumption is made that this information is sufficiently accurate.

The local Historic Environment Record is a record of known archaeological and historic environment features. It is not an exhaustive record of all surviving historic environment features and it does not preclude the existence of further features which are unknown at present.

Contribution to Significance

The contribution that a site or feature makes to a heritage asset's significance is expressed using the criteria below:

Contribution	Degree to which Setting Contributes to Significance of the Heritage Asset
Neutral	The site/area of works makes no contribution to the significance of a heritage asset or its setting.
Minor	The Site/area of works forms a modest part of a heritage asset's physical fabric or makes a modest contribution to the experience of a heritage asset's significance from within its setting.
Moderate	The site/area of works forms a notable and positive element of a heritage asset's physical fabric or makes a modest contribution to the experience of a heritage asset's significance from within its setting.
High	The Site/area of works forms an important part of a heritage asset's fabric or enables the experience of an important element of a heritage asset's significance from within its setting.
Very High	The Site/area of works forms a critical part of a heritage asset's fabric or enables the experience of a critical element of a heritage asset's significance from within its setting.

The character of the Site may already have a detrimental impact upon the significance of a heritage asset to varying degrees which can be expressed using the same terminology above (very high to low). In this instance, development may have the opportunity bring about positive change within the setting of a heritage asset.

Definitions of Impact

The degree of impact of a proposed development upon a heritage asset is defined using the following criteria:

LEVEL OF HARM	DEFINITION
Less Than Substantial Harm	
Low	Minor adverse impact upon the significance and/or setting of a designated heritage asset. E.g. loss or partial loss of a valued characteristic of a heritage asset or its setting that is not fundamental or critical to its significance.
Moderate	Medium adverse impact upon the significance and/or setting of a designated heritage asset. E.g. loss or partial loss of a valued characteristic of a heritage asset or its setting that is an important or very important, but not fundamental or critical, element of its significance.
High	High adverse impact upon the significance and/or setting of a designated heritage asset. E.g. loss or partial loss of a valued characteristic of a heritage

	asset in its setting that is very important, if not fundamental or critical, to its significance.
Substantial Harm	
Very High or Substantial Harm	Impact to such a degree that the significance of a heritage asset is entirely lost or a fundamental part of it is vitiated.

The terms above, with exception of substantial harm, also apply to the impact of a development upon non-designated heritage assets.

N.B. Similar hierarchical language (*low, moderate, high, very high*) and criteria of impact applies to the beneficial outcomes of a proposed development

APPENDIX 2: PLANNING LEGISLATION & POLICY

Table 1: National Legislation relevant to the proposed development.

Planning (Listed Buildings and Conservation Areas) Act (1990)	<p>The Planning (Listed Buildings and Conservation Areas) Act 1990 covers the registration of Listed Buildings (that is those buildings that are seen to be of special architectural or historic interest) and the designation of Conservation Areas (areas of special architectural or historic interest, the character or appearance of which it is desirable to preserve or enhance).</p> <p>A Listed Building may not be demolished or altered or extended in any manner which would affect its character as a building of special architectural or historic interest without Listed Building Consent being granted.</p> <p>There are three grades of listed building (in descending order): Grade I: buildings of exceptional interest; Grade II*: particularly important buildings of more than special interest; and Grade II: buildings of special interest, warranting every effort to preserve them.</p> <p>When making a decision on all <u>listed building consent</u> applications or any decision on a planning application for <u>development</u> that affects a <u>listed building</u> or its <u>setting</u>, a <u>local planning authority</u> must have special regard to the desirability of <u>preserving</u> the <u>building</u> or its setting or any features of <u>special architectural</u> or <u>historic interest</u> which it possesses. Preservation in this context means not harming the interest in the building, as opposed to keeping it utterly unchanged.</p> <p>The Act requires local planning authorities to pay special attention throughout the planning process to desirability of preserving or enhancing the character or appearance of a Conservation Area.</p>
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Table 2: National Policy relevant to the proposed development

Title	Content
NPPF Chapter 16, Paragraph 189	<p>Heritage assets range from sites and buildings of local historic value to those of the highest significance, such as World Heritage Sites which are internationally recognised to be of Outstanding Universal Value. These assets are an irreplaceable resource, and should be conserved in a manner appropriate to their significance, so that they can be enjoyed for their contribution to the quality of life of existing and future generations.</p>
NPPF Chapter 16, Paragraph 190	<p>Plans should set out a positive strategy for the conservation and enjoyment of the historic environment, including heritage assets most at risk through neglect, decay or other threats. This strategy should take</p>

	<p>into account:</p> <ul style="list-style-type: none"> a) the desirability of sustaining and enhancing the significance of heritage assets, and putting them to viable uses consistent with their conservation; b) the wider social, cultural, economic and environmental benefits that conservation of the historic environment can bring; c) the desirability of new development making a positive contribution to local character and distinctiveness; and d) opportunities to draw on the contribution made by the historic environment to the character of a place.
NPPF Chapter 16, Paragraph 194	<p>In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance. As a minimum the relevant historic environment record should have been consulted and the heritage assets assessed using appropriate expertise where necessary. Where a site on which development is proposed includes, or has the potential to include, heritage assets with archaeological interest, local planning authorities should require developers to submit an appropriate desk-based assessment and, where necessary, a field evaluation.</p>
NPPF Chapter 16, Paragraph 195	<p>Local planning authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) taking account of the available evidence and any necessary expertise. They should take this into account when considering the impact of a proposal on a heritage asset, to avoid or minimise any conflict between the heritage asset's conservation and any aspect of the proposal.</p>
NPPF Chapter 16, Paragraph 196	<p>Where there is evidence of deliberate neglect of, or damage to, a heritage asset, the deteriorated state of the heritage asset should not be taken into account in any decision.</p>
NPPF Chapter 16, Paragraph 197	<p>In determining applications, local planning authorities should take account of:</p> <ul style="list-style-type: none"> a) the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation; b) the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and

	c) the desirability of new development making a positive contribution to local character and distinctiveness.
NPPF Chapter 16, Paragraph 199	When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.
NPPF Chapter 16, Paragraph 200	Any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification. Substantial harm to or loss of: <ul style="list-style-type: none"> a) grade II listed buildings, or grade II registered parks or gardens, should be exceptional; b) assets of the highest significance, notably scheduled monuments, protected wreck sites, registered battlefields, grade I and II* listed buildings, grade I and II* registered parks and gardens, and World Heritage Sites, should be wholly exceptional.
NPPF Chapter 16, Paragraph 201	Where a proposed development will lead to substantial harm to (or total loss of significance of) a designated heritage asset, local planning authorities should refuse consent, unless it can be demonstrated that the substantial harm or total loss is necessary to achieve substantial public benefits that outweigh that harm or loss, or all of the following apply: <ul style="list-style-type: none"> a) the nature of the heritage asset prevents all reasonable uses of the site; and b) no viable use of the heritage asset itself can be found in the medium term through appropriate marketing that will enable its conservation; and c) conservation by grant-funding or some form of not for profit, charitable or public ownership is demonstrably not possible; and d) the harm or loss is outweighed by the benefit of bringing the site back into use.
NPPF Chapter 16, Paragraph 202	Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.
NPPF Chapter 16, Paragraph 203	The effect of an application on the significance of a non-designated heritage asset should be taken into account in determining the

	application. In weighing applications that directly or indirectly affect non-designated heritage assets, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset.
NPPF Chapter 16, Paragraph 204	Local planning authorities should not permit the loss of the whole or part of a heritage asset without taking all reasonable steps to ensure the new development will proceed after the loss has occurred.
NPPF Chapter 16, Paragraph 205	Local planning authorities should require developers to record and advance understanding of the significance of any heritage assets to be lost (wholly or in part) in a manner proportionate to their importance and the impact, and to make this evidence (and any archive generated) publicly accessible. However, the ability to record evidence of our past should not be a factor in deciding whether such loss should be permitted.
NPPF Chapter 16, Paragraph 206	Local planning authorities should look for opportunities for new development within Conservation Areas and World Heritage Sites, and within the setting of heritage assets, to enhance or better reveal their significance. Proposals that preserve those elements of the setting that make a positive contribution to the asset (or which better reveal its significance) should be treated favourably.
NPPF Chapter 16, Footnote 68	Non-designated heritage assets of archaeological interest, which are demonstrably of equivalent significance to scheduled monuments, should be considered subject to the policies for designated heritage assets.

Table 3: Policies relevant to the historic environment taken from the North Lincolnshire Council Core Strategy (Adopted June 2011).

Policy	Content
CS6: Historic Environment	<p>The council will promote the effective management of North Lincolnshire's historic assets through:</p> <ul style="list-style-type: none"> • Safeguarding the nationally significant medieval landscapes of the Isle of Axholme (notably the open strip fields and turbaries) and supporting initiatives which seek to realise the potential of these areas as a tourist, educational and environmental resource. • Preserving and enhancing the rich archaeological heritage of North Lincolnshire • Ensuring that development within Epworth (including schemes needed to exploit the economic potential of the Wesleys or manage visitors) safeguards and, where possible, improves the setting of buildings associated with its Methodist heritage.

	<ul style="list-style-type: none"> • Ensuring that development within North Lincolnshire’s Market Towns safeguards their distinctive character and landscape setting, especially Barton upon Humber, Crowle and Epworth. <p>The council will seek to protect, conserve and enhance North Lincolnshire’s historic environment, as well as the character and setting of areas of acknowledged importance including historic buildings, conservation areas, listed buildings (both statutory and locally listed), registered parks and gardens, scheduled ancient monuments and archaeological remains.</p> <p>All new development must respect and enhance the local character and distinctiveness of the area in which it would be situated, particularly in areas with high heritage value.</p> <p>Development proposals should provide archaeological assessments where appropriate</p>
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Table 4: Saved policies relevant to the historic environment taken from the North Lincolnshire Local Plan (Adopted May 2003).

Policy	Content
HE5 – Development affecting Listed Buildings	The Council will seek to secure the preservation, restoration and continued use of buildings of special architectural or historic interest. When applications for planning permission relating to a listed building or listed building consent are being assessed, the primary consideration will be the need to preserve or enhance the fabric and character of the building. Permission or consent will not be granted unless it has been demonstrated that the proposed works would secure this objective. The Council will encourage the retention and restoration of the historic setting of listed buildings. Proposals which damage the setting of a listed building will be resisted. Whenever appropriate, proposals which would entail the loss of historic fabric from a listed building will be conditional upon a programme of recording being agreed and implemented.
HE6 – Demolition of Listed Buildings	Consent for the demolition of listed buildings will not be granted other than in the most exceptional circumstances and only when the planning authority is satisfied that every possible effort has been made to continue the present use or find a suitable alternative use, and such efforts have failed. Whenever appropriate, proposals which would entail the loss of historic fabric from a listed building will be conditional upon a programme of recording being agreed and implemented.
HE9 – Archaeological Evaluation	Where development proposals affect sites of known or suspected archaeological importance, an archaeological assessment to be submitted prior to the determination of a planning application will be required. Planning permission will not be granted without adequate assessment of the nature, extent and significance of the remains present and the degree to which the proposed development is likely to affect them.

	<p>Sites of known archaeological importance will be protected. When development affecting such sites is acceptable in principle, mitigation of damage must be ensured and the preservation of the remains in situ is a preferred solution. When in situ preservation is not justified, the developer will be required to make adequate provision for excavation and recording before and during development.</p>
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