



## Design & Access Statement

<b>Works</b>	Proposed Replacement Dwelling
<b>Side Address</b>	at Norway Lodge Whitton Road Alkborough North Lincolnshire DN15 9JG
<b>Client</b>	Mr & Mrs Barnett
<b>Reference</b>	274ALKB
<b>Date</b>	November 2013

## **Design & Access Statement**

-	19 <sup>th</sup> November 2013	First Issue
A	31 <sup>st</sup> December 2013	Planning Issue
B	14 <sup>th</sup> October 2014	Amended Issue

### **274ALKB – Proposed Replacement Dwelling at Norway Lodge Whitton Road, Alkborough, DN15 9JG**

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#### **Appendix A – Location Plan**

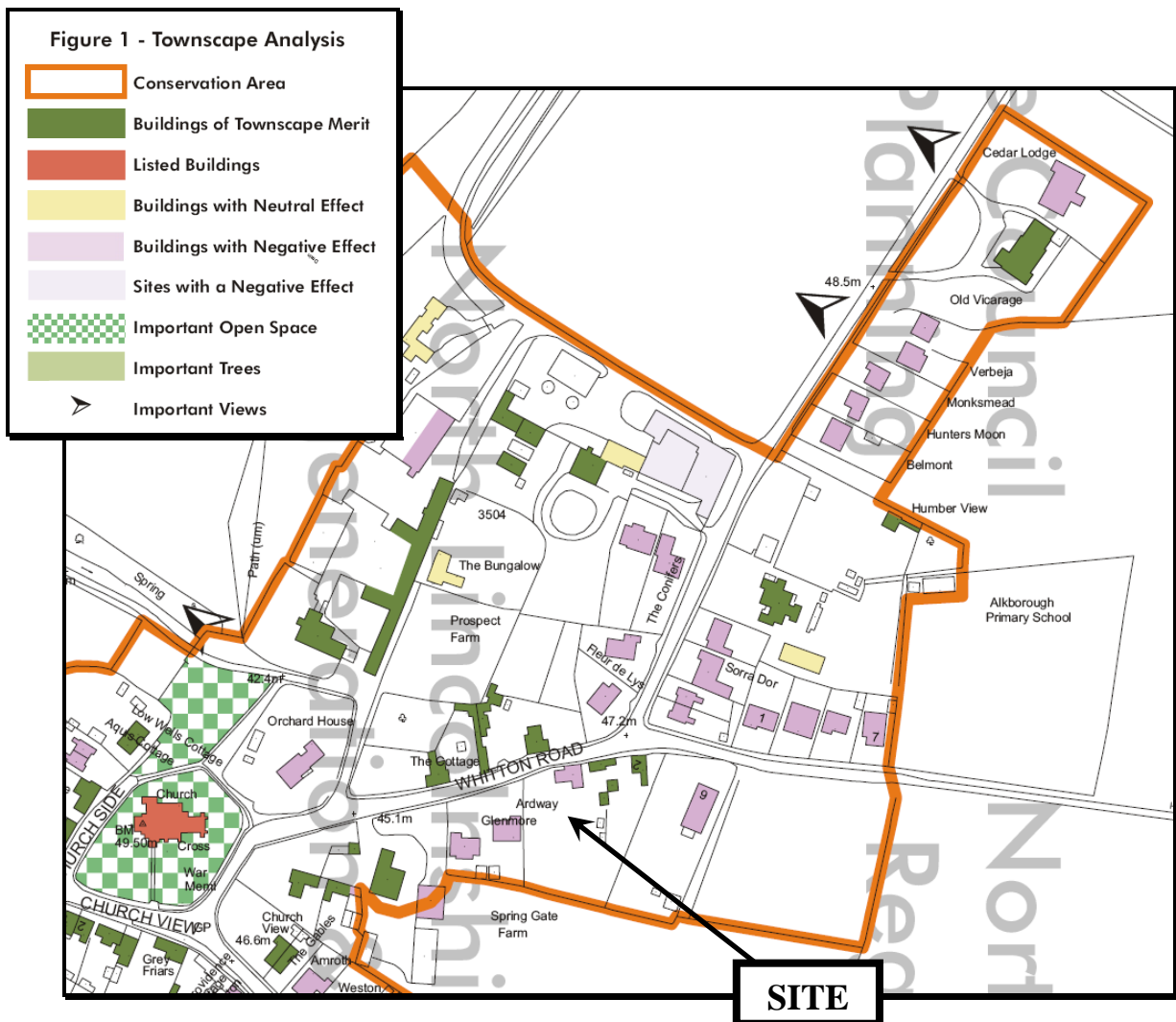
#### **Appendix B – Environment Agency Flood Zone Plan**

## Assessment

### 1.0 Physical Context

- 1.1 The proposed site, known as Norway Lodge, Whitton Road, Alkborough, North Lincolnshire, DN15 9JG, is located to the North East of the village. The house is located to the South off Whitton Road, just West of the junction of Huteson Lane. The village of Alkborough is sited approximately 8 miles North of the town of Scunthorpe.
- 1.2 The site is to the North East of the centre of Alkborough village, South off Whitton Road.
- 1.3 The immediate area surrounding the site is predominantly open countryside to the South, and private dwellings to the North, East and West, which originate from over the centuries, mainly from the late 19<sup>th</sup> Century.
- 1.4 The site is located to the South off Whitton Road, backing onto open countryside to the South, and is in a highly visible location within the village when entering from the North (Whitton). It is therefore an important and highly visible location, and the proposals for the replacement building must be of the highest standards.
- 1.5 The site itself currently houses a small single storey outbuilding, and a large two storey dwelling of 19<sup>th</sup> Century origins, with 1950's extension and rendering to the original part. There is no off road parking at present. The building is a traditionally constructed, brick property, with the elevations of the original part rendered around the time of the extension, and painted green.
- 1.6 There are a couple of trees and hedges adjacent to the property, which may be affected by the scheme, and will be assessed and considered by an Arboriculturist as part of this application.
- 1.7 There are a varied mix of building styles on Whitton Road and adjacent to the site in the village. The supporting document, Heritage Impact Assessment, explains in detail the architectural and design features of the surrounding dwellings.
- 1.8 The site is elevated immediately off Whitton Road by around 900mm, and continues to slope up, gently Southwards, by another 1.200m over a distance of 46.500m.
- 1.9 The site has been previously developed and is in the Conservation Area of Alkborough. There is no substantial vegetation or trees on the site which will be removed as part of this scheme.

1.10 The map below shows the location of the site in relation to the North Lincolnshire Council Conservation Area Boundary Map. The site is identified as within the Development Boundary and Conservation Area of Alkborough.



1.11 The site is bounded to the North by adopted the highway known as Whitton Road, which run from Whitton to the North East, to the centre of the village of Alkborough.

1.12 There are no known public rights of way over or adjacent to the site.

## **2.0 Social & Economic Context**

- 2.1 The buildings around the site are predominantly private residential dwellings. Dwellings represent a large percentage of the local buildings, with the exception of a small number of small out buildings and the local school.
- 2.2 Although there is a lack of local amenities, the replacement of the existing dwelling, will not have an adverse impact.
- 2.3 The proposed dwelling is located within easy access of Scunthorpe and the A1077, for access to the A15, Barton upon Humber, the Humber Bridge and Hull, and onto the rest of the motorway network.
- 2.4 The site is well located for access by Public Transport, and a bus route passes the site, with a bus stop a short distance away. The bus route links the outlying villages of Burton-upon-Stather, Whitton, Alkborough, West Halton, Thealby etc. with Scunthorpe. See the Section 12 – Access – for additional information.
- 2.5 The existing house is currently vacant and has been for some time, and has unfortunately been neglected under previous ownership and is in a poor state of repair.
- 2.6 The site is well located within the heart of the village, due to its location amongst other dwellings, and close to local attractions, such as the Church, Julians Bower and walking and bird watching footpaths.
- 2.7 To avoid the building remaining derelict and continuing to deteriorate, a scheme of demolition and replacement improve the street scene and Conservation Area as a whole.

### **3.0 Involvement**

3.1 This Design & Access Statement will support a Full Planning Application for the replacement of the existing property known as Norway Lodge, with a new purpose built 3no. bedroom family home with detached garage.

3.2 Due to the significance of the Application, there has been considerable pre-application advice and consultation with various Local Authority Departments, including Planning and Conservation Officers.

3.3 Below is detailed the dialog with various departments and a brief outcome of each meeting / discussion:

- 30/10/13 – Alison Williams – North Lincolnshire Monuments Officer

Email sent to Monuments Officer for comment.

Response received 06/11/13 confirming that the outbuilding to the East of the existing house is a Building of Townscape Merit, and a supporting Heritage Assessment should be produced.

It was also confirmed that it was not considered necessary to recommend any archaeological works in advance of works on this single dwelling.

- 30/10/13 – Darren Cowling – North Lincolnshire Highways

Email sent to Highways Department for comment.

An email response was received 07/11/13 confirming that there were no great issues with the proposal as the new dwelling is to be pushed back to improve visibility.

- 30/10/13 – Andrew Taylor – North Lincolnshire Environment Team

Email sent to Environment Team for comment on possible Protected Species Survey requirements.

Email response received 30/10/13 confirming that the site and existing buildings appears to have reasonable probability for bat roosts present. A programme of bat surveys should be sought and submitted with the Planning Application.

- 31/10/13 – Andrea Brocklebank – North Lincolnshire Tree Officer

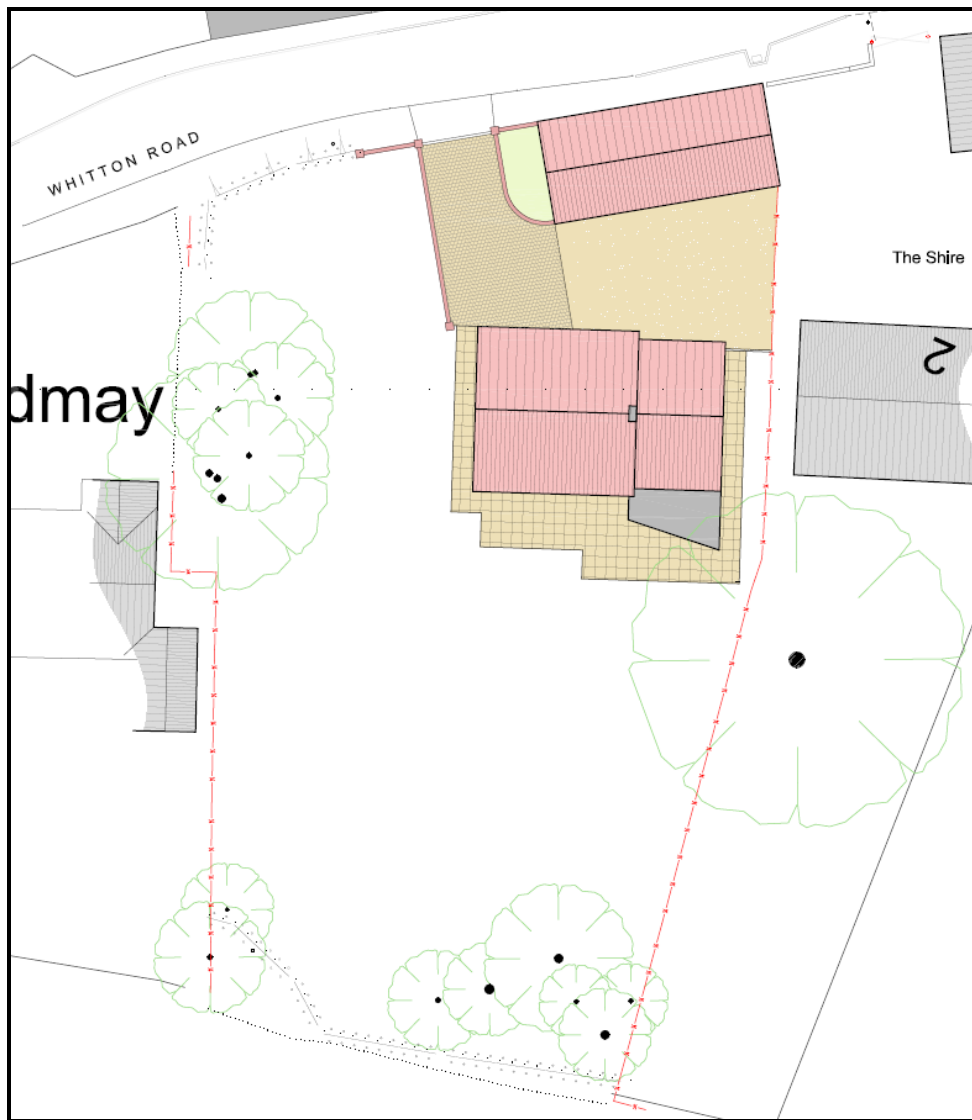
Email received 31/10/13 confirming that the trees in the immediate vicinity of the proposed dwelling will need assessing by way of a Tree Report, identifying their RPA's .

- 04/11/13 – Nicholas Lawrence – North Lincolnshire Planning Department

Initial meeting on site to discuss the proposed development in principle and possible constraints.

The proposed development was deemed acceptable in principle, and there were no objections to the overall design, scale etc. and it was considered that the replacement of the existing dwelling will have a beneficial impact on the Conservation Area in this area due to the dilapidated condition of the existing house.

It was considered that the proposed balcony at first floor would result in unacceptable loss of amenity of the neighbours, due to the properties close proximity to the Eastern boundary.

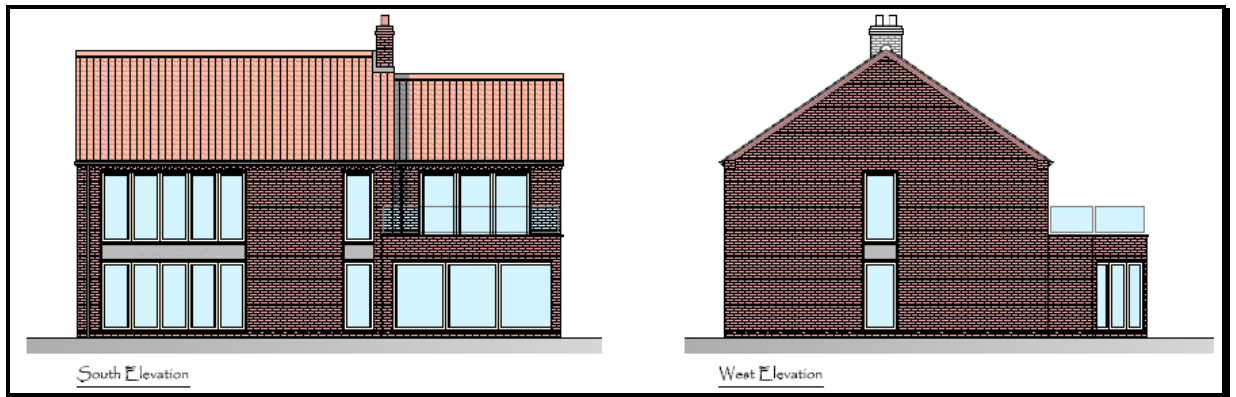
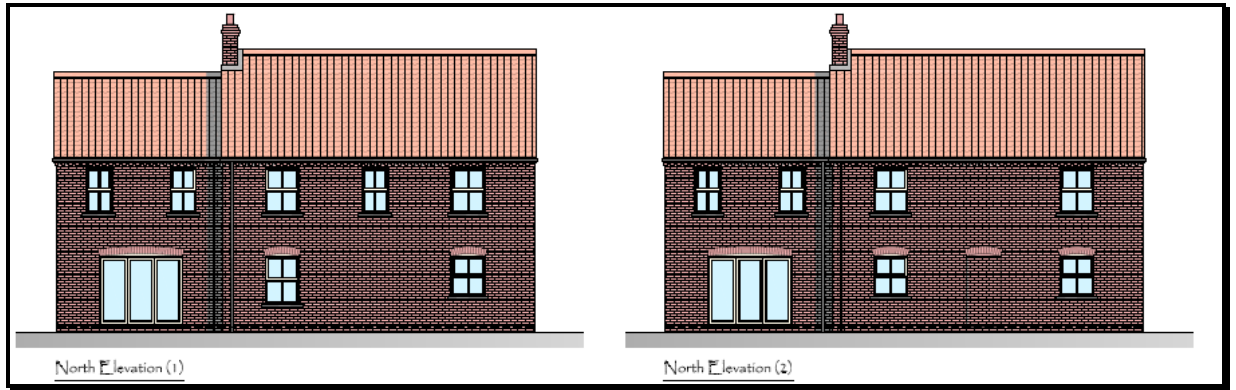


Original Site Layout Proposals

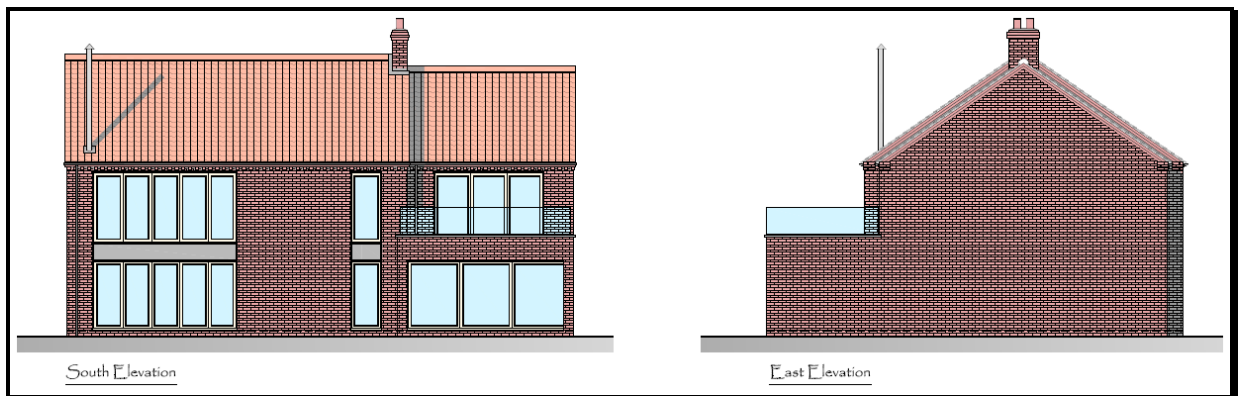


Amended Site Layout Proposals

Repositioning the property to the centre of the site has significantly reduced the impact of the balcony and reduced the potential overlooking issues to not worse than any rear facing windows. The greater distance, increased from 2.500m to over 8.200m from the property to the boundary, has improved the spatial distribution, and reduced the impact of the new house and eliminated any overlooking.



Original Scheme Proposals



Amended Scheme Proposals

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Cream (off white) timber windows to the North elevation, and cream aluminium windows / doors to all other elevations, were deemed acceptable.

- 3.4 In addition to the original consultations supporting Planning Application PA/2014/0050, this Supporting Planning Statement is to be read in conjunction with the re-submitted Planning Application. The original Application was withdrawn to obtain additional Bat Survey information, and minor design changes to the Garages have been made as a result.

3.5 **Statement of Community Involvement:**

Below is detailed the dialog with neighbours and the local Parish Council, and a brief outcome of each meeting / discussion:

Local consensus is that, although it is a shame to demolish an original building in the village, it is appreciated that the building is an eyesore and beyond repair. It is considered that a replacement dwelling, set back from the road, will also improve the street scene.

The neighbours at 2 (The Shires) Hutson Lane, were presented with the plans and had nothing negative to say. Due to the issue raised by the Planning Department surrounding the balcony, the neighbours were specifically asked about this, and confirmed that they had no objections. They are happy to put the proposed garages on the boundary as shown, as they want to build a wall there anyway.

- 3.6 In conclusion, this scheme has been carefully arrived at by using knowledge of the area and correspondence with the local residents and the Local Authority, particularly with respect to the design, scale and appearance of the proposals.

## 4.0 Evaluation

- 4.1 The dwelling is proposed to be sited in place of an existing property known as Norway Lodge, Whitton Road, Alkborough - shown below.



North Elevation onto Whitton Road

- 4.2 There is a continued shortage of high quality homes in rural locations, and the existing building has unfortunately become unviable for conversion, and is best suited for replacement with a scheme which will enhance the Conservation Area.
- 4.3 It is important to retain the original character of village, especially in the Conservation Area, and retaining the original outbuilding to the North East corner of the site, directly on the boundary of the site, would retain the village street scene and character.
- 4.4 The proposed dwelling's scale will kept in line with the existing property, with a subservient 'extension' to the East elevation. The proposals, coupled with repositioning the house further back into the site, will reduce its impact on the surroundings and adjacent properties, ensuring the building is not larger in scale and volume than the surrounding properties.
- 4.5 The site services are to be assessed in detail, but are believed to be suitable to support the proposal, including gas, water, electricity and sewerage.

## 5.0 Design

- 5.1 The proposed dwelling takes its form from many local styles, as identified in the Heritage Impact Assessment.
- 5.2 The building will comprise of an two storey house with square proportions, and a reduce scale 'extension' to the East, with inset facade and lower ridge line. The new property shall be a simple rural cottage style, with vertically proportioned windows and glazing panels.
- 5.3 The detailing and materials chosen are as found locally in the village, with local style red/brown facing brickwork and roofs befitting natural clay pantiles.
- 5.4 Eaves will befit simple projecting dental course with projecting stretchers courses over to take black rainwater goods, with a single projecting stretcher course to gables. Other details include simple feature reconstituted stone cills externally and swept head brick soldier courses over windows and doors.



Projecting Dental Course to Eaves

- 5.5 The new garage adjacent to the existing outbuilding, with ridge line running parallel to the road, will form a courtyard.

- 5.6 The proposed dwelling will comprise of 3 bedrooms at first floor level, each with en-suite bathroom. The ground floor will comprise of an open plan Living, Dining and Kitchen area, with separate Utility Room, Pantry, Plant Room, Cloakroom, Bathroom, Study and Snug. There is also a single storey detached garage and storage facility.
- 5.7 The windows shall be cream (off white - RAL 9010) painted timber to the North elevation, and high quality cream aluminium to the West and South elevations. The colour is chosen to contrast with the brickwork, as shown below. The window proportions are generally vertical, with vertical window panes which compliment the local style.



5.9 Below are example photo images of the proposed materials:



**Hanson Southdown Multi**



**Sandtoft County Natural Red Interlocking Clay Pantile**

5.10 Samples of the above materials have been deposited at the Local Planning Authority for their Approval prior to determination of this Application.

## **6.0 Use**

- 6.1 The existing site is currently an occupied brown field site under private ownership. The site contains a detached two storey dwelling which is to be demolished, and small outbuilding, which shall be retained.
- 6.2 The large plot will accommodate the dwelling, garaging to the front of the site, drive and extensive gardens.
- 6.3 The site was chosen as it is suitable for building a new dwelling on, without compromising neighbouring properties.
- 6.4 The site is vacant and does not lend itself to any other use, such as commercial use, due to its rural location in the village, and the high percentage of private dwellings locally.
- 6.5 There are no other suitable plots of land available within the village.

## **7.0 Amount**

- 7.1 This Full Planning Application is for 1no. proposed replacement dwelling.
- 7.2 The application for the dwelling includes the dwelling, garage, walling, landscaping and access of the plot.
- 7.3 The existing dwelling floor area totals approximately 146m<sup>2</sup>.
- 7.4 The proposed dwelling has been designed to meet the functional needs of the new owners whom will occupy it. There are 3 generous bedrooms and ample living and entertaining space. The dwelling has a total floor area of approximately 259m<sup>2</sup> (excl. garage), arranged over two floors.
- 7.5 The site identified on the Location Plan totals approximately 1,610m<sup>2</sup> (0.16ha). The single dwelling shall be located further away from the road than the existing property, to improve the gap between the property and the road and the properties opposite, and will be in line with the adjacent properties.

## **8.0 Layout**

- 8.1 Access onto the site will be taken from the Northern boundary, via a new drive access into the site, off Whitton Road.
- 8.2 The site layout has been designed formally, to follow the line of the other properties set back from Whitton Road, with the front of the house facing North. The layout of the house means that the majority of the living space will face South into the private gardens.
- 8.3 The proposed dwelling faces North towards Whitton Road. The dwelling will be set back from the road in line with the neighbouring properties along the road.
- 8.4 The dwelling will be no larger or more prominently located than any adjacent dwellings, to ensure its location does not detract from the surrounding countryside or have an adverse affect on the Conservation Area.
- 8.5 The proposal for the dwelling will be accompanied by the proposal for the detached garage, which will replace the existing outbuilding located directly on the boundary with the road.

## 9.0 Scale

- 9.1 The buildings locally stem from early 18th Century houses which tend to be single storey, fronting onto the road, with limestone walls and pantile roofs. The windows are vertically hung sliding sashes or the 'Yorkshire' horizontal sliding type. It is not uncommon for several of these original properties to have been raised to two storeys in the later 18th and 19th Centuries. Brick arches adorn many ground floor window openings.



Early Single Storey Stone Cottage

- 9.2 Later buildings from the late 18th Century, generally take the form of two-storey houses, some rendered to mask poor stonework.



Late 18th Century Rendered Two-Storey Properties

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- 9.3 In the 19th Century, the houses tend to be constructed of brick. The brick, with a few exceptions, tends to be a local style, red brick.



Later Brick Houses from 19th Century

- 9.4 The dwelling shall be two storey, with roof a pitch around  $35^{\circ}$ , with gables perpendicular to the road, which is reminiscent of many roof styles locally.
- 9.5 The construction of the dwelling in local style materials, will also help blend the buildings into the surroundings, as well as maintaining links with the existing local dwellings.
- 9.6 Repositioning the dwelling further back into the site, away from the road, will ensure that the proposal does not have a negative impact on the street scene.

## **10.0 Landscaping**

- 10.1 To ensure the retention of as many natural site elements as possible, any existing trees and hedges and fencing or boundary treatments, on or adjacent to the site, will be retained.
- 10.2 Good quality hard landscaping will be introduced to the drive off Whitton Road, using permeable block paviers or setts of contrasting colours and textures.
- 10.3 The hard landscaped areas will be softened with major and incidental planting. All new planting will be of local, deciduous specimens, suitable for this situation and locality.
- 10.4 The property boundaries will be retained as existing, with 1.5m high panel fences. The garage extension to the replaced outbuilding, along the Eastern boundary, will create a courtyard feel and complete the drive area.

## 11.0 Appearance

- 11.1 The proposed dwelling will utilise local style red/brown facing brickwork, with complementary clay pantile roofs. Proposed Roof Tiles to be Sandtoft County Clay Pantile in Natural Red, as below:



**Hanson Southdown Multi**



**Sandtoft County Natural Red Interlocking Clay Pantile**

- 11.2 Brick detailing, in the same brick, shall be incorporated over window and door heads, to break up the expanses of brickwork, to the elevations facing North. These windows will also have simple reconstituted stone cills.
- 11.3 Samples of the above materials have been deposited at the Local Planning Authority for their Approval prior to determination of this Application.

- 11.4 Windows shall be cream (off white - RAL 9010) painted timber to the North elevation, and high quality cream aluminium to the West and South elevations. The colour is chosen to contrast with the brickwork, as shown below. The window proportions are generally vertical, with vertical window panes which compliment the local style.



- 11.5 Gutters and downpipes shall be black uPVC to add contrast to the brickwork, on projecting stretcher courses over a projecting dental course.



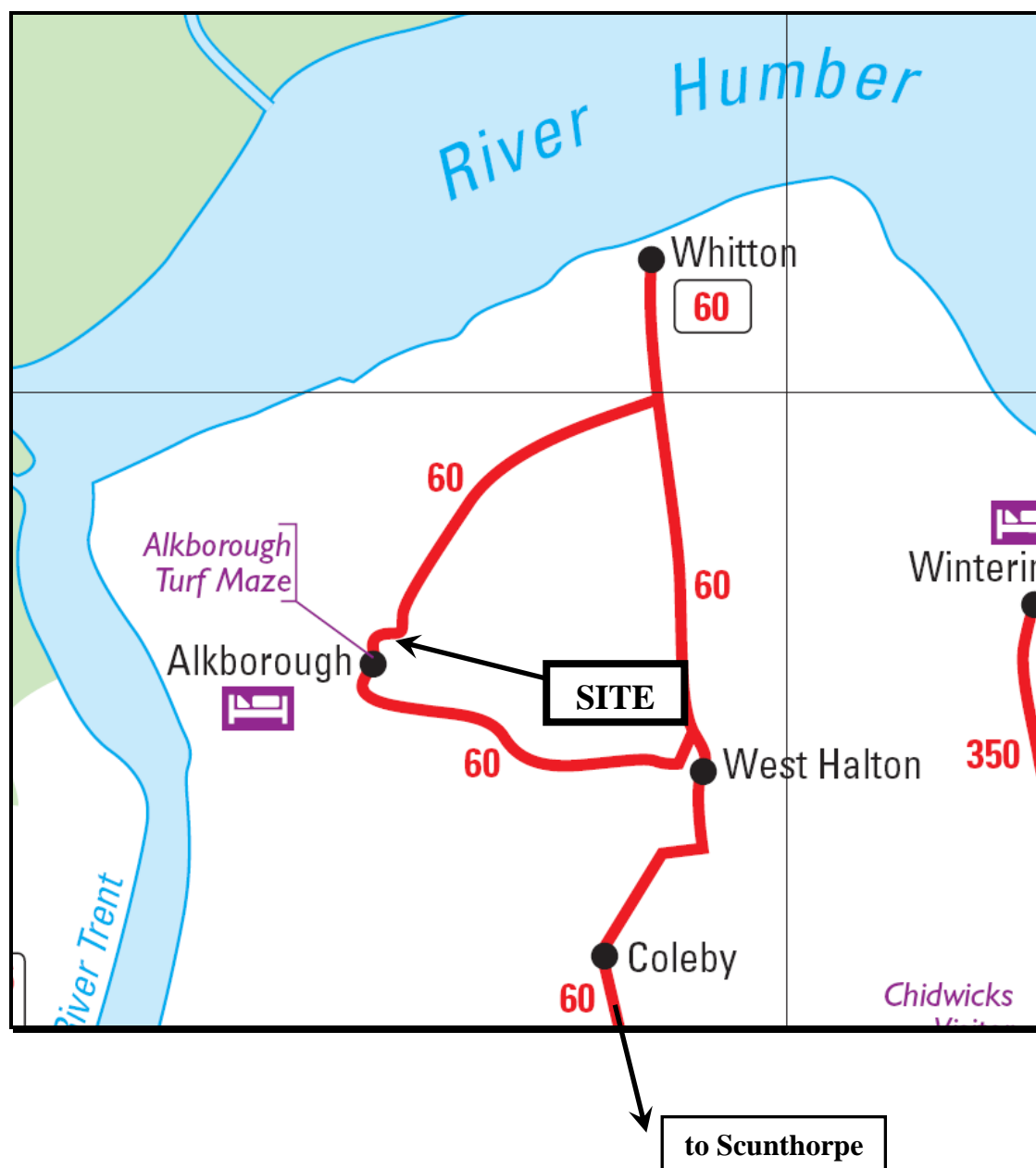
## 12.0 Access

12.1 The site is located in the rural village of Alkborough. It benefits good infrastructure, with the village being easily accessible to Scunthorpe, Hull and the A15 motorway network.

12.2 The access to the dwelling will be via a new private driveway.

12.3 The site is easily accessible from public transport. Bus route 60 passes the site on Whitton Road, with bus stops in close proximity of the property, providing direct links with Scunthorpe and other outlying villages.

12.4 Bus Route map is shown below:



### 13.0 Secured by Design

13.1 This proposal has been subject to careful assessment in respect of the layout to address issues raised by the Secured By Design guidance documentation and North Lincolnshire Council Policy DS3 - Designing out Crime.

13.2 Points raised in the Secured By Design guidance documentation are naturally incorporated into the proposals, including window and door locks, intruder alarms etc. Further details, such as dwelling identification, letter box security etc. will be considered and suggested to the client.

13.3 Policy DS3 - Designing out Crime states:

*"New development should take into account personal safety and the security of people and property by:*

- i) ensuring that paths, play areas and open spaces are overlooked by inhabited buildings while maintaining the privacy of inhabitants; and*
- ii) avoiding the creation of spaces with ill-defined ownership and ensure there is a clear distinction between public open space and private open space; and*
- iii) ensuring the development is well integrated into the existing pattern of pedestrian and vehicular movement; and*
- iv) ensuring that dark or secluded areas are not created by landscaping, planting or building; and*
- v) ensuring that streets and paths are adequately lit."*

13.4 There are no public spaces on the site, and the site boundaries shall be clearly defined with fencing, hedges and walling to provide a well-designed and clearly defined environment, to ensure that there is no ambiguity as to which areas are private and which are public.

13.5 The development clearly improves the current pedestrian and vehicle movements situation, by providing safe and secure, off road parking facilities.

13.6 The level of natural surveillance on the site is high, as a result of its location adjacent to existing dwellings and on the main road into the village.

13.7 The drive and parking courtyard located in front of the property, for secure parking with high natural levels of surveillance.

13.8 External lighting will be provided around the property, incorporating PIR movement sensors for added security measures.

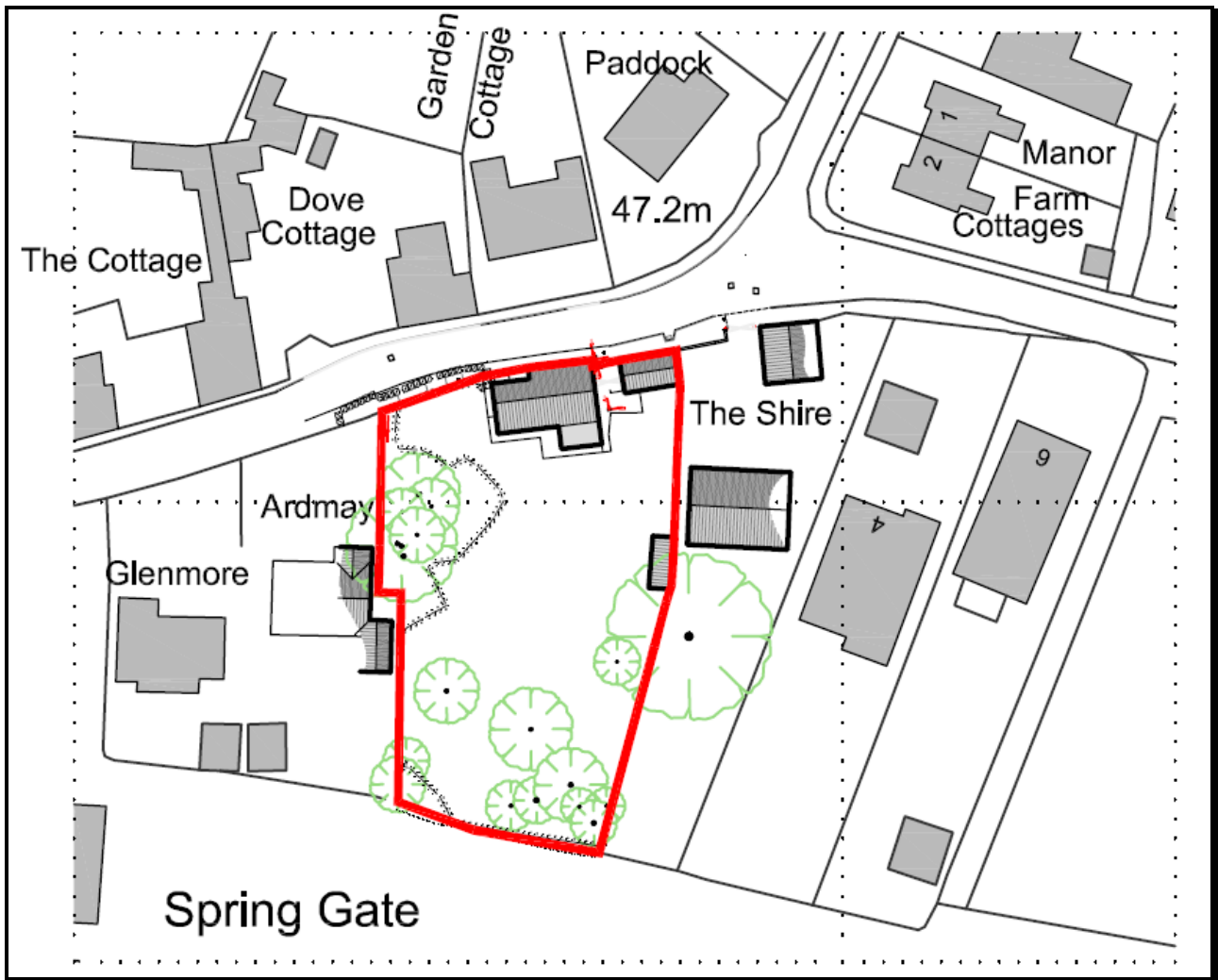
13.9 The properties will benefit the highest level of standard locking systems to all windows and doors, and will include an intruder alarms. Doors and window security shall adhere to BS PAS 24 and BS 7950 respectively.

## **14.0 Sustainability**

- 14.1 Where possible, this scheme will incorporate the highest standards of sustainable design.
- 14.2 The materials chosen for the construction of the property will be sourced from the most local manufacturers and suppliers possible, for example, Sandtoft for the roof tiles.
- 14.3 The heating and ventilation system for the property will benefit from a specialist designed ground source heat pump system, with heat recovery within the property, extracting stale moist air from bathrooms etc, and providing warm fresh air to other areas. This, coupled with high standards of insulation and workmanship, mean the property will aim for a SAP rating 'A'.
- 14.4 The surface water run-off from the property and drive will be drained through sustainable drainage system. The site will therefore likely see a reduction in offsite surface water drainage, reducing the impact on the local sewer system.
- 14.5 Where possible, further elements will be assessed and incorporated to provide sustainable benefits to the occupiers and local environment.

# **APPENDIX A**

## **LOCATION PLAN**



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**APPENDIX B**

**ENVIRONMENT AGENCY FLOOD ZONE PLAN**

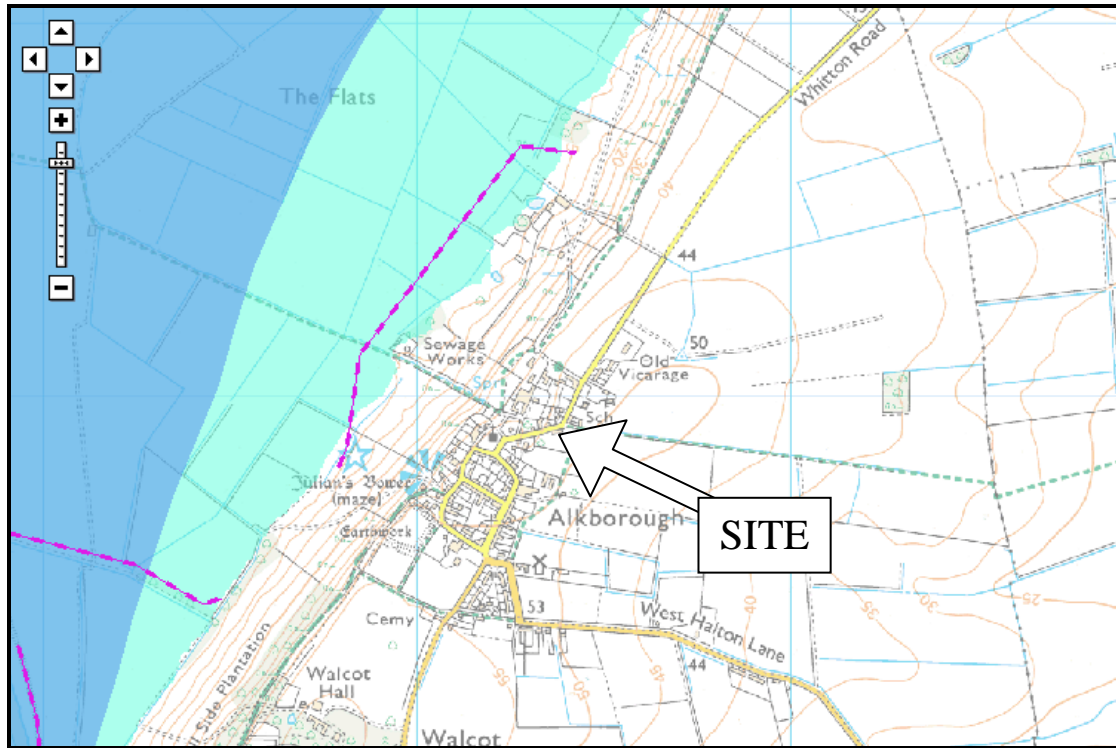
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# ENVIRONMENT AGENCY FLOOD ZONE PLAN



The proposed site is in an area, which falls outside the extent of a flood from a river or the sea, at the time of assessment of the likelihood of flooding.

Generally this means that the chance of flooding each year from rivers or the sea is 0.1% (1 in 1000) or less.