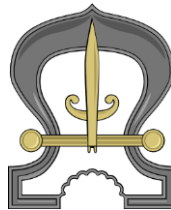


Arboricultural Method Statement

Arboricultural Method Statement and Tree Protection Plan
(in accordance with BS5837: 2012 Trees in Relation to Construction)

For:

Client:



Brocklesby Estate

Location:

Land at Manor Farm, East End, Kirmington, North Lincolnshire

Date: 4th November 2019

(this report should be read in conjunction with the attached plan/s)



Client Details

Brocklesby Estate
Estate Office
Brocklesby Park
Grimsby
DN41 8PN

Contact: George Wise MRICS (*Estate Planning & Development Surveyor*)

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Agent:

James Rigby
Globe Consultants Limited

[REDACTED]
[REDACTED]
[REDACTED]

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1.0 Introduction

The purpose of this method statement is to evaluate the direct and indirect effects of the proposed design/layout and to ensure good practise in the protection of trees during the proposed development/construction of this residential development.

1.1 ENGIE Arboricultural Consultancy has been instructed by Globe Consultants Limited on behalf of client the Brocklesby Estate, to prepare this Arboricultural Method Statement and Tree Protection Plan for this proposed development, based on the recommendations and guidance outlined within the accompanying Arboricultural Report.

1.2 This method statement should be included as part of the specification and schedule of works and issued to all relevant parties including the building contractor and sub-contractors.

1.3 Scope of Recommendations and Techniques

This method statement outlines methods and techniques for preserving the requirements trees need in order to survive. The soil environment for retained trees can be protected throughout the course of development activities.

1.4 Site Supervision

An arboricultural consultant should be appointed by the developer for advice on the tree management for the site and to attend meetings, as set out within this method statement.

1.5 Description of Development

Conversion of existing agricultural buildings to provide 2 no. dwellings; demolition of existing agricultural buildings and associated structures; erection of 6 no. dwellings to be provided as affordable housing; and, erection of 1 no. detached dwelling (9 no. dwellings in total); alongside vehicular access provision from East End and Post Office Lane.

1.6 Site Description

The site is located within the village of Kirmington, within the Borough of North Lincolnshire. It is situated just north from the A18 road, 5 miles (8 km) west from Immingham and 7 miles (11 km) east from Brigg. Less than 1 mile (1.6 km) to the west is Humberside International Airport.

1.7 The sites "red edge" development boundary line sits within the grounds of Manor Farm, although does not appear to be directly associated with the property in its current use. The sites previous use is agricultural and there are several barn and stable units located towards the northern aspect. Mostly the site has become abandoned, in terms of commercial agricultural use. Some units have been adapted for use as stables, although mostly the barns are currently utilised for storage. The site extends to around 0.49 hectares or 1.21 acres. The formal access is served off East End, with a track type driveway of around 60m that leads to the barn structures to the rear of the site. The remaining site area, principally to the southern aspect, is abandoned open space. This has become quite overgrown with grasses, bramble and other weed type vegetation.

1.8 Tree cover within the site is strictly limited, and mainly located along the south western boundary. Here there are several mature trees that dominate this particular aspect of the site. The boundary treatment to the site is mainly hedging, of which has, to some extent been managed. The surrounding land use is mixed between residential, agricultural and light commercial. Directly north are open fields, mainly enclosures where horses are kept and exercised. To the east and southern aspects there are several residential dwellings with associated infrastructure and garden space. Directly to the west is Manor Farm and its associated grounds, what was once host to the proposed development site. Further beyond, the land use is principally agricultural, arable farm land.

Note: A copy of this method statement must be permanently available on site for the duration of development activity

2.0 Status of the Site

The Local Planning Authority (LPA) is North Lincolnshire Borough Council. Using the Council's on-line interactive mapping system, on the 1st November 2019, this confirmed that trees within and adjacent to the site are afforded the protection of Tree Preservation Order. This search also confirms that the site is not within or adjacent to a Conservation Area.

Order Title:

County of Lincoln, Parts of Lindsey, Tree Preservation (Kirmington) Order 1971

Protected trees map & schedule



Associated Trees – T10-Lime, T11-Scots Pine, T12-Scots Pine, T13-Scots Pine, T14-Scots Pine

Note: Any works to protected trees outside of a planning permission will need permission from the Local Planning Authority

Note: The tree numbers as described above are specifically in association with the TPO map and schedule and bear no relevance to the BS 5837 survey/schedule

3.0 Arboricultural Method Statement (AMS)

3.1 Pre-Development Tree Work

Prior to any construction activity taking place the recommended tree works should be completed.

3.2 Specification of Tree Works:

As specified in the Tree Schedule appendix "A", "*Recommendations*" of the original BS5837 Survey/Report and what works are required to facilitate the successful development of the site in accordance with the final design/layout. Also refer to the "Tree Removal and Retention Plan, Appendix "A" of the Arboricultural Implications Assessment (AIA).

3.3 Schedule of Tree Works:

- Trees to be removed
- Trees identified for remedial works

Individual Trees

- T1 – Fell
- T2 – Fell
- T3 – Fell
- T4 – No works recommended
- T5 – No works recommended
- T6 – Sever ivy at base and remove first 6m. Clean out by removing any dead, dying, duplicating and crossing branches.
- T7 – Clean out any dead wood
- T8 – Fell
- T9 – Clean out by removing any dead, dying, diseased, duplicating and crossing branches. Clear basal sucker growth. Crown lift up to 2m, from ground level.
- T10 - Fell
- T11 - Fell

Competent contractors must be appointed. All works should be carried out in accordance with the British Standards Recommendations for Tree Work (BS 3998:2010) or any subsequent updates.

All tree works must be completed to the satisfaction of the Local Authority Tree Officer before any other works begin.

3.4 Arboricultural Supervision (Pre-Commencement of Development)

A pre-commencement meeting should be held on site before any site clearance, ground works and construction work begins. This would normally be attended by the site manager, the arboricultural consultant and a local planning authority (“LPA”) representative, preferably the Local Authority Tree Officer. In the event that an LPA representative declines to be present, the arboricultural consultant should inform the LPA in writing of the details of the meeting. This meeting should include the following:

- Inspection of pre-development tree works to ensure works have been carried out in accordance with the approved specification of works and has been carried out to the correct standards.
- Any additional tree works expected, outside of the approved specification of works will be agreed and recorded.
- All tree protection measures detailed in this method statement should be fully discussed so that all aspects of implementation and sequencing are understood by all the parties.
- Any specialist engineered methods detailed in this method statement should be fully discussed so that all aspects of implementation and sequencing are understood by all the parties.
- The details of the programme of tree protection should be agreed and finalised.
- Any site supervision arrangements between the arboricultural consultant and developer should be agreed and finalised. Including any site visits deemed necessary, by a local planning authority (“LPA”) representative.

3.5 Installation of Tree Protection Measures

Trees will be protected by barriers as described in appendix “A”. The positioning of the barriers is also shown in appendix “A”. The barriers will form an exclusion zone that will be regarded as sacrosanct. Vertical barriers will be installed as soon as the pre-development tree work is complete. Once erected the barriers should be regarded as sacrosanct and should not be removed or altered without approval from the LPA.

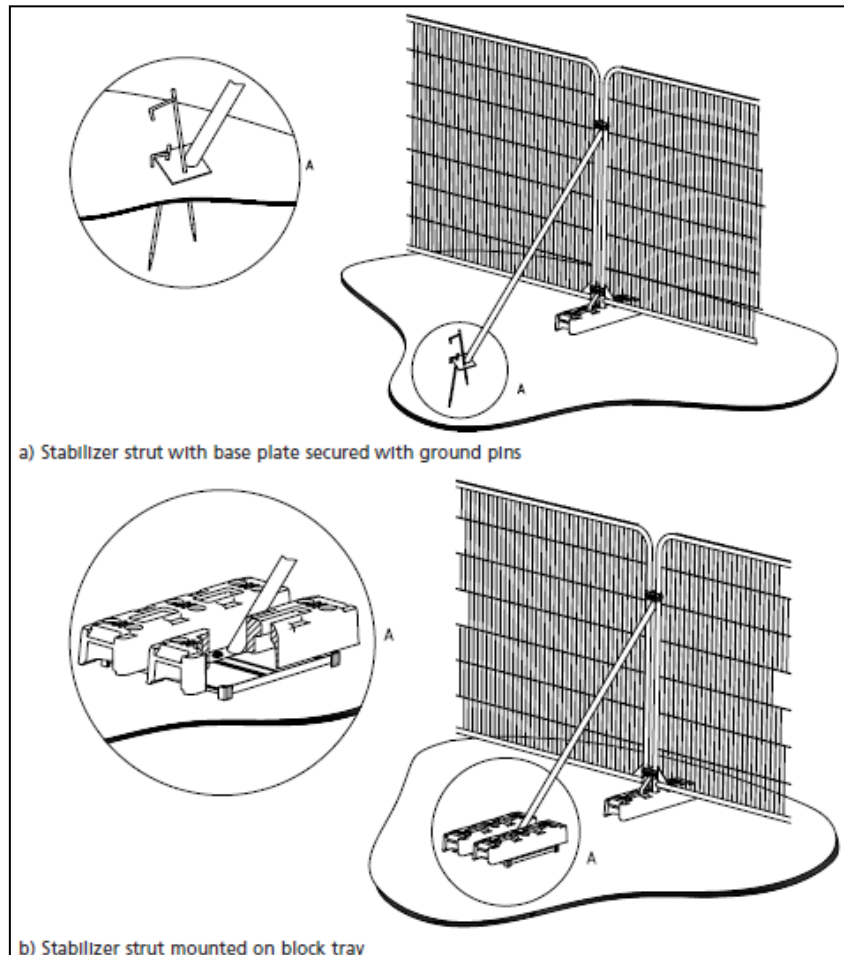
3.6 The barriers should be fit for the purpose of excluding all construction activity. For this site the barrier should consist of 2m tall welded mesh panels on rubber or concrete feet joined together using a minimum of two anti-tamper couplers, installed so they can only be removed from inside the fence. The panels should be supported on the inner side by stabiliser struts, which would normally be attached to a base plate secured with ground pins (see Appendix “A”). All weather notices should be securely attached to the barrier with words such as “*Construction Exclusion Zone – KEEP OUT! Removing or moving these barriers may result in a breach of planning conditions*”.

3.7 The primary concern for the protection of trees on this site is to protect, improve and maintain the trees micro environment /root system.

3.8 Arboricultural Inspection (Tree Protection Measures)

Once protective barriers have been installed, prior to any other works taking place on site, all tree protective measures will be checked and approved in writing by the appointed arboricultural consultant and/or the Local Authority Tree Officer. Arrangements will be made at a convenient time for the arboricultural consultant and/or Local Authority Tree Officer to carry out an inspection of the site.

3.9 Specification for Protective Barrier



3.10 Installation of Services

When considering development for this site the installation of services must be kept as far as practically possible from the root protection area (RPA) of any retained trees/hedges.

3.11 Trenching near trees by conventional means, using a mechanical excavator, inevitably causes root loss, as the bucket easily rips through roots. For services such as foul, surface, electric, gas, BT etc., the most practical solution would be to run all services through one trench. Where encroachment into the RPA cannot be avoided trench-less techniques should be adopted. An alternative would be to hand dig a trench minimising the cutting of roots. Pipes and ducted cables can then be thread through enabling installation with very little damage, provided that the borehole is small and deeper than the main lateral roots

3.12 In the UK, the usual guidelines for trenching by utility companies are provided by NJUG 10, which is available to download at www.njug.org.uk/publications.html . By agreeing to the guidelines to be followed during trenching, all parties are assured that problems can be solved using a common set of criteria. Supervisors from the appointed contractor should direct operatives to follow the agreed practices and it is quite likely that the Local Authority Tree Officer will monitor for compliance.

3.13 Main Site Construction Works

Prior to works starting all site personnel including sub-contractors should be inducted in the requirements expected in order to ensure the future health of trees. Begin the main site works for the construction of the principal accommodation block and associated infrastructure. The protective fencing will seal off the exclusion zone, preserving the existing ground conditions, as detailed in the Tree Protection Plan. The protective fencing should only be removed once all the construction works are complete.

3.14 Construction Phase Complete

Once all construction activity has finished on site the protective fencing can be removed. Any post development landscape finishes should take into account existing trees and any deep cultivation within the RPA of the trees should be avoided.

3.15 Snagging

During construction/development activities, should there be a need for any variations to the scheme of tree protection and/or methods and techniques, whether planned or reactive, these variations shall be agreed in writing by the Local Authority Tree Officer.

3.16 During construction/development activities, in the event of incidents likely to result in the loss of trees that are to be retained then the site manager or Arboricultural Consultant shall notify the LPA Tree Officer of the incident within 48 hours.

3.17 The tree protective measures will seal off the exclusion zone and preserve the existing ground conditions, as detailed in the Tree Protection Plan appendix "A". The tree protection measures should only be removed once all construction activities are complete

4.0 Key Personnel

A list of the known contact details of the relevant parties is as follows:

Role	Name	Company
Arboricultural Consultant	Andrew Hudson	Engie Services New Oxford House George Street Grimsby NE Lincs DN31 1HB Tel. +44 (0)1472 324 271 Mob. +44 (0) 07919 304 536 Email. andrew.hudson@engie.com
Developer	Brocklesby Estate George Wise (Estate Planning & Development Surveyor)	Brocklesby Estate Estate Office Brocklesby Park Grimsby DN41 8PN Contact: George Wise Email: g.wise@brocklesby.co.uk
Planning Consultant	James Rigby	Globe Consultants Limited James Rigby Tel: 01522 563 516 Mob: 07790137135 Email: James.Rigby@globelimited.co.uk
Tree Officer – Local Authority North Lincolnshire Borough Council	Andrea Brocklebank	North Lincolnshire Council Environment Officer (Trees and Landscape) Transport, Highways and Environment Directorate of Operations North Lincolnshire Council. 01724 297000 Email: Andrea.Brocklebank@northlincs.gov.uk

5.0 Summary and Phasing of Works

Phased Project Management of Tree Issues Throughout Development	
Action	Summary of Detail
<p>Pre-Development Tree Work - Prior to any construction activity taking place the recommended tree works should take place.</p>	<p>As specified within this Arboricultural Method Statement, page 7, 3.1 – 3.3 Specification of Works Works to trees T1, T2, T3, T6, T7, T8, T9, T10 & T11</p>
<p>Arboricultural Supervision - A pre-commencement meeting should be held on site before any of the site clearance, ground works and construction work begins</p>	<ul style="list-style-type: none"> • Inspection of pre-development tree works to ensure works have been carried out in accordance with the approved specification of works and has been carried out to the correct standards. • Any additional tree works expected, outside of the approved specification of works will be agreed and recorded. • All tree protection measures detailed in this method statement should be fully discussed so that all aspects of implementation and sequencing are understood by all the parties. • The details of the programme of tree protection should be agreed and finalised. <p>Any site supervision arrangements between the arboricultural consultant and developer should be agreed and finalised. Including any site visits deemed necessary, by a local planning authority (“LPA”) representative.</p>
<p>Construction Trees will be protected by barriers as described in appendix “A”. The positioning of the barriers/ground protection is also shown in appendix “A”</p>	<p>The barriers should be fit for the purpose of excluding all demolition/construction activity.</p> <p>Vertical barriers will be installed as soon as the pre-development tree work is complete.</p> <p>Once protection measures are installed, they should be regarded as sacrosanct and should not be removed or altered without approval from the LPA.</p>
<p>Arboricultural Inspection (Tree Protection Measures)</p>	<p>All tree protective measures will be checked and approved in writing by the appointed arboricultural consultant and/or the Local Authority Tree Officer</p>
<p>Construction Phase – once tree protective measures have been formally approved main site construction may begin</p>	<ul style="list-style-type: none"> • Any variation to tree protective measures needs to be formally agreed • Any variation to methods/techniques, design/construction needs to be formally agreed • Any incidents of tree loss during development needs to be reported within 48hrs • Tree protective measures should be regarded as sacrosanct and should not be removed or altered without approval from the LPA
<p>Construction Phase Complete</p>	<p>The tree protective measures can be removed. Post development landscape finishes should still consider the trees below ground constraints</p>

Appendix "A"

Tree Protection Plan

Tree Barriers:

Barriers should be fit for the purpose of excluding construction activity from the root protection (RPA) area of retained trees. The barriers should remain rigid and complete throughout the demolition/construction phase.

BS5837: 2012 Trees in Relation to Construction recommends the barrier type specification is commensurate to site circumstances and associated risk of damage within the RPA of retained trees.

Pre-development site inspection should be carried out by an arboriculturalist or Local Authority Tree Officer to ensure protective measures are to the correct specification and fit for purpose. The Local Planning Authority should be made aware of any amendments.

Tree protective barriers protect the RPA of retained trees. Any contamination into these areas such as chemical, petrol, diesel and oil spillage should be avoided. The mixing of cement and use of toxic materials should have a designated area well away from tree barriers.

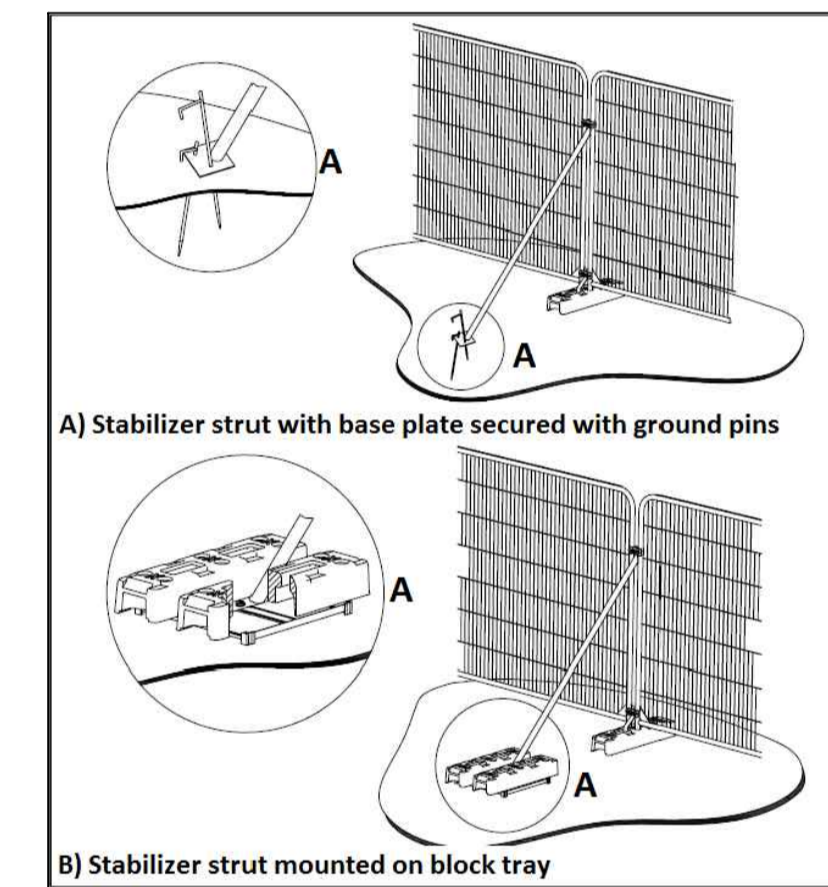
Temporary Ground Protection:

Ground protective measures should be capable of supporting any traffic/pedestrian entering or using the site without being distorted or causing compaction to the underlying soil. The objective should be to avoid compaction of the soil so that tree root functions remain unimpaired.

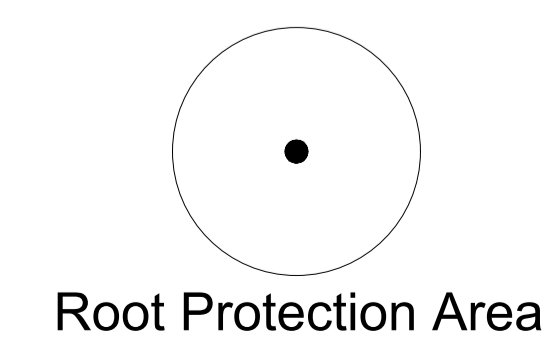
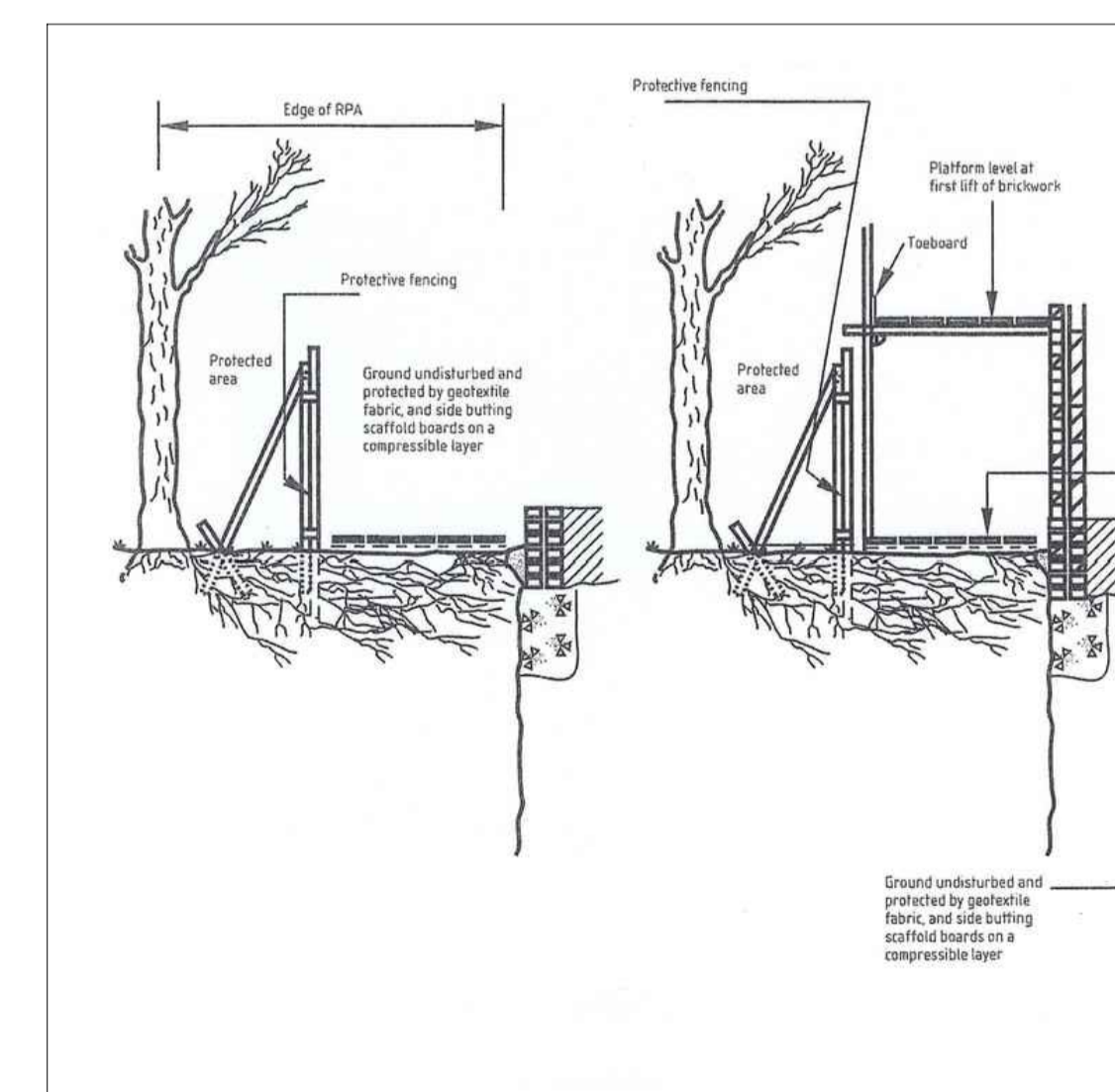
For pedestrian movements only, a single thickness of scaffold boards placed either on top of a driven scaffold frame, so as to form a suspended walkway, or on top of a compression-resistant layer (e.g. 100mm depth of woodchip), laid onto a geotextile membrane.

For pedestrian-operated plant up to a gross weight of 2t, proprietary, inter-linked ground protection boards placed on top of a compression-resistant layer (e.g. 150mm depth of woodchip), laid onto a geotextile membrane.

Barrier Specification

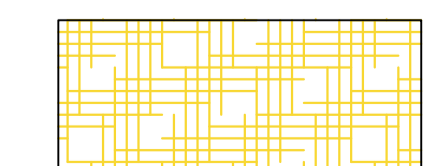


Ground Protection Specification



Root Protection Area

Barrier Position



Ground Protection

Tree protective measures should be erected before any materials or machinery is brought onto site and before any demolition, development or stripping of soil commences. Once erected, protection measures should be regarded as sacrosanct and should not be removed or altered without approval from the Local Planning Authority and recommendation of an arboriculturalist

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CLIENT Brocklesby Estate

PROJECT Residential Development land at Manor Farm, East End, Kirmington

TITLE Tree Protection Plan

DRAWN AH

CHECKED

APPROVED

DATE 04/11/2019 ORIGINAL SIZE A1 (594 x 841) SCALE 1:200

FILE REF AH-ENGIE DRAWING No. TPP-01-04-11-19 REVISION No.