



**BAILY  
GARNER**



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**DESIGN AND ACCESS STATEMENT**  
**OPTIONS ROXBY HOUSE**

# CONTENTS

1.0 Introduction	
2.0 Brief	
3.0 Site Photos	
4.0 Design Considerations	
5.0 Proposed Plans	
6.0 Proposed Elevations	
7.0 Materials Schedule	
	8.0 Flood Risk
	9.0 Drainage Strategy
	10.0 Access
	11.0 Planning Policy
	12.0 Summary

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# 1.0 INTRODUCTION

- 1.1 This Design and Access Statement has been prepared to explain the design process and determinants which have shaped the proposed development of Roxby House, Winterton Rd, Roxby, Scunthorpe DN15 0BJ. It sets out the analysis of the site and the design development which has led to the application design.
- 1.2 It has been prepared by the designers at Baily Garner, acting as agents for Options Group. It is prepared in support of a Planning Application to North Lincolnshire Council.
- 1.3 The format of the design and access statement follows the CABE Guidance Document Design and Access Statements – How to Write, Read and Use Them.
- 1.4 Options Roxby House is a residential home that provides opportunities for personal development for people with autistic spectrum disorders, associated complex needs and challenging behaviours. The facility comprises a number of buildings located to the West of Roxby.
- 1.5 The proposed single-storey extension would contain two additional units of accommodation for residents, each with one bedroom, a living and dining room, kitchen and bathroom. The building would be located on what is currently open ground immediately adjacent to existing buildings at the site.

This Statement therefore:

- i) Provides a review of the site's immediate and wider context in terms of its physical, local and economic characteristics and relevant planning policy and guidance.
- ii) Provides a rationale for the scheme's design.
- iii) Explains and illustrates the design principles in terms of the development's layout, scale, landscape and visual appearance.
- iv) Explains how the development will meet the local authority's planning design objectives.
- v) Demonstrates how the proposals meet access for all criteria.



*Site photographs: January 2020*

## 2.0 BRIEF

- Options Group are seeking to secure planning for additional accommodation within a small single storey extension with hipped pitched roof to an existing building.
- Options Roxby House is an established residential home providing opportunities for personal development for people ages 18 or over who have autistic spectrum disorders, associated complex needs and challenging behaviours.
- Options Group is a proactive and forward thinking organisation run by an experienced management team and supported by sector specialists. Established in 1999, Options Group has grown steadily and is now trusted by more than 60 Local Authorities to provide specialist care, education and therapy to almost 200 children, young people and adults.
- The proposed development comprises two additional units of accommodation attached onto an existing building within the overall compound.



# 3.0 SITE PHOTOS



**1.1**  
Existing South –  
East elevation of  
Rawton House,  
Options Roxby



**1.2**  
Existing North  
elevation of  
Rawton House,  
Options Roxby



**1.3**  
Existing West  
elevation of  
Rawton House,  
Options Roxby



**1.4**  
Existing East  
elevation of  
Rawton House,  
Options Roxby



**1.5**  
Existing South –  
East elevation of  
Rawton House,  
Options Roxby



**1.6**  
Existing view from  
pathway to East  
Elevation of  
Rawton House,  
Options Roxby

# 3.1 SITE PHOTOS



**1.7**  
Existing South –  
Septic Tank  
location behind  
evergreen trees



**1.8**  
Existing grassed  
area in front of  
existing car park



**1.9**  
Existing car park  
to be extended.  
Parallel parking  
along existing  
fence line to  
be changed to bay  
parking



**2.0**  
Existing car park  
to be extended



**2.1**  
View of Rawton  
House from the  
car parking area



**2.2**  
View of existing  
car parking area

# 4.0 DESIGN CONSIDERATIONS

## Land Use

The proposed use of the building as living accommodation associated with the residential home accords with the current Use Class C2 use of the site and would not result in any change of use of the land.

## Amount

The amount of development proposed is modest, comprising a single storey extension to the existing Rawton House, within Options Roxby that would contain two units of accommodation. Existing buildings at the site comprise mainly two storey and single storey and more substantial structures against which the proposed single storey building would be seen, such that it would not appear out of scale in its context.

As part of this application Options Group would also like to extend the car parking provision to allow bay parking rather than parallel parking as per the proposals, equating in very little loss of green space.

## Layout

The proposal is to extend to the East of Rawton House, providing fire escape circulation from both the existing buildings and the proposed accommodation. A small plant room to the south of the proposal will house boilers and incoming electrical services, this allows the site team ease of access without the need to disturb residents.

The building's proposed position to the South of the site, extended onto Rawton House mean that the development will be seen from the main road; Winterton Road. An existing line of tall trees and car parking within the site would hide the building somewhat from Winterton Road. The East of the site is also shielded from view by a substantial line of evergreen trees. The chosen position for the building would therefore results in a limited visual impact on the area's rural character when viewed from the public realm.

## Scale

The proposed scale of the extension would not result in a significant increase in the overall building footprint at the site and is low height would result in it not being too visible above the more substantial structures adjacent. The buildings would therefore not appear out of scale with either the site or adjacent buildings and would not appear unduly prominent in its setting.

The scale and position of details such as door and window openings would have a domestic scale that would complement the appearance of Rawton House.

## Landscaping

The buildings would be positioned on what is currently bare ground with no significant vegetation and as such no landscaping would be lost or removed as a result of the development. Landscaping in the form of grassed areas and bushes around the building would help to assimilate it into its context and provide it with a soft and attractive setting. Existing and more substantial landscaping within the site and along site boundaries would soften any limited visual impact of the additional development on the wider area's rural character.

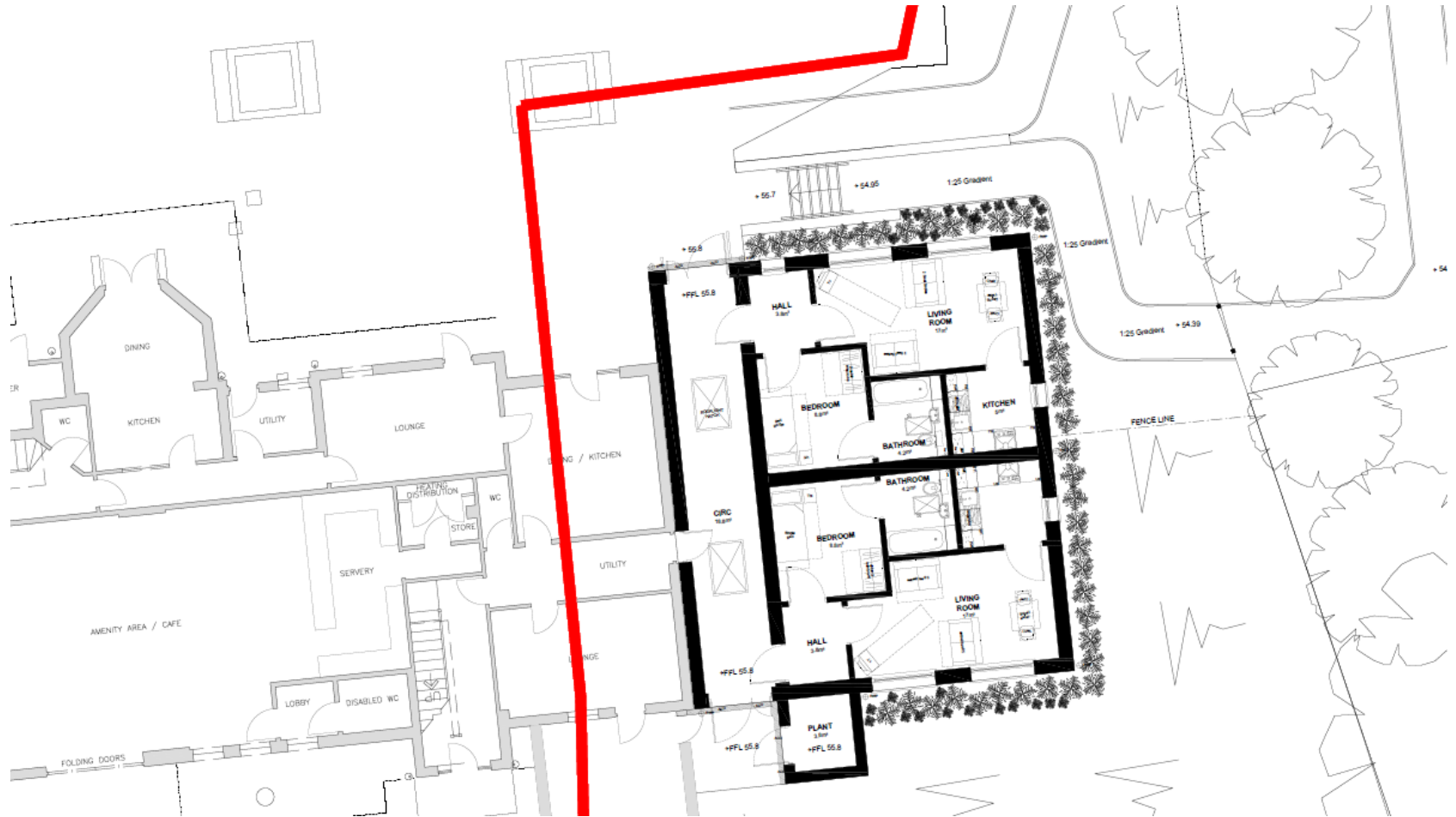
The proposed fence line will remain the same typology of fence as currently exists, just moved back towards the extension to accommodate bay parked cars.

## Appearance

The scale and detailing of the development would create a domestic appearance appropriate to the proposed use of the building as accommodation as part of a residential home. The development will be seen from Winterton Road, and has been designed to complement Rawton House, keep the same lines, roof style, roof pitch and rhythm.

# 5.0 PROPOSED PLANS

Proposed Site Plan (NTS)



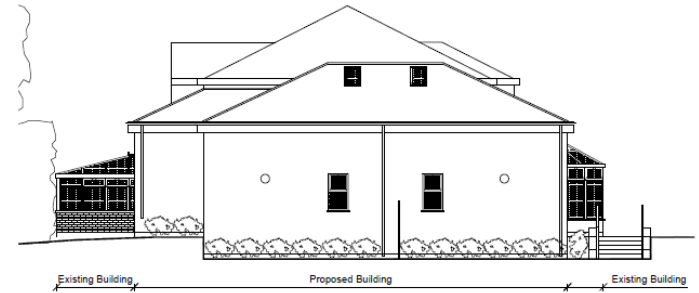
## Layout

The two units of accommodation would be arranged along a central corridor enabling the accommodation to be served efficiently, whilst providing fire escape provision from Rawton House and the proposed accommodation. Each unit of accommodation would be accessible independently and the building would be linked with other parts of the site by an existing network of paths. Each unit comprises of a hall, bedroom, ensuite bathroom, kitchen and living room. Both units are served by a small proposed plant room which will house incoming electrics and boilers for each unit. Wall mounted lighting will provide external lighting.

# 6.0 PROPOSED ELEVATIONS



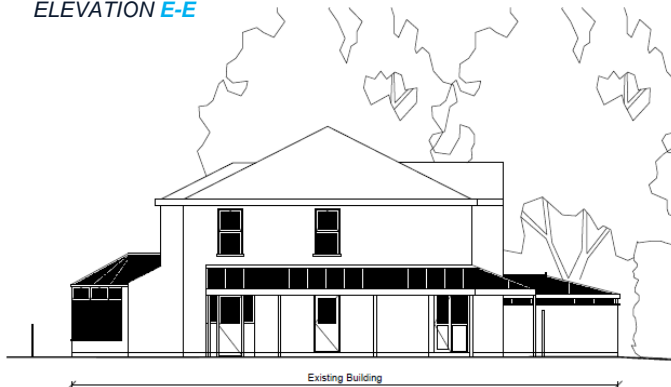
**ELEVATION A-A**



**ELEVATION C-C**



**ELEVATION E-E**



**ELEVATION D-D**



**ELEVATION B-B**

# 7.0 MATERIALS SCHEDULE



## Material Palette:

### Walls

Warm dyed concrete block  
Cream render

### External Surfaces

Block paving

### Windows and Doors

White Aluminium / uPVC

### External Lighting

Wall Lights

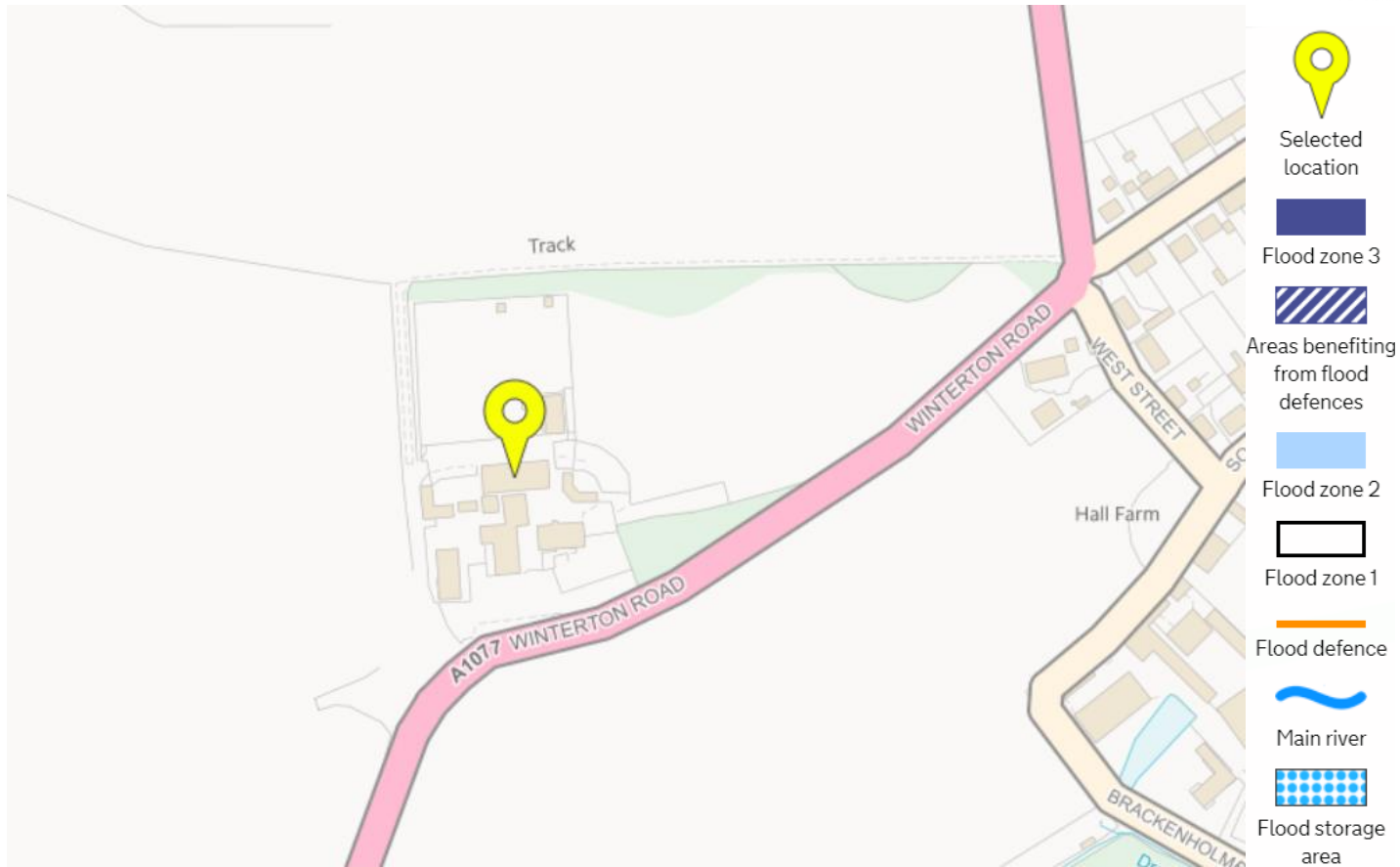
### Roof

Grey Tiles with pitched and hipped roof

### Fencing

Dark green metal fencing

# 8.0 FLOOD RISK



The Environment Agency’s website indicates that the site is not in a flood risk area as the site is located on fairly high ground. The topography of the existing site shows that the ground falls away from the buildings towards the car park and heavily treed area. The levels change from approximately 54.630 to 54.360m AOD over a distance of approximately 10m, providing a steep gradient. Some earthworks will be required to reduce ground levels on the southern half of the proposed footprint to allow construction of the proposed building on ground at a suitable gradient.

The Environment Agency Maps were accessed on 14/02/2020 and found to confirm that the Site does not lie within a Flood Zone and therefore does not require a Flood Risk Assessment to be undertaken.

# 9.0 DRAINAGE STRATEGY

## ***Surface Water Drainage:***

The area to be occupied by the proposed building comprises primarily amenity grass and therefore is only considered to generate greenfield runoff in its pre-developed state. The proposed building will cover a footprint of approximately 145m<sup>2</sup>.

Due to the size of the development, the rates of runoff generated are very small and it will not be practical to provide a flow control device to limit discharge rates to these flows without significantly increasing the risk of blockage to the system.

Therefore, it is proposed that the building will be constructed with a suitable surface water drainage system capable of accepting runoff from the building roof, route it to an attenuation device and discharge the runoff to the existing surface water drainage serving the existing buildings on site. This will ensure that the receiving downstream catchment is not overwhelmed by increased flows from the development while allowing the proposed building to be adequately drained for all storms up to the 100 year storm event, with an allowance of 40% climate.

## ***Foul Water Drainage.***

The existing site is served by existing private foul water drainage network. The proposed development will increase the foul water discharge a small amount based on occupancy of the two proposed flats within the proposed extension. Therefore, the increase will be so small as to only have a negligible effect on the on-site existing private drains. A suitable connection point to the private on site drains will be identified and constructed to support the proposed building.

# 10.0 ACCESS

Winterton Road is served by several buses linking the site with Scunthorpe, Ashby, Brigg, Hull, Goole and Gainsborough. The site is also within reasonable walking and cycling distance of Roxby suggesting that some trips to and from the site could be made by these transport modes.

Although the site's location means that it does not benefit from the same level of access by sustainable modes of transport as if it were in an urban area, the facility's use as a residential home benefits significantly from its location in a calm rural setting. Thus, this consideration needs to be balanced with considerations of relative accessibility by non-car modes of transport. There is a pathway within the site boundary which allows residents to safely walk into Roxby village.

The proposed accommodation would be linked to existing buildings and other parts of the site by a network of footpaths. As noted above, the building would be sufficiently close to existing buildings to benefit from existing facilities. Access into and around the proposed accommodation has been designed to be fully inclusive and wheelchair friendly.

The proposed car parking looks to move a fence line back to the proposal, to allow parking to be bay parking rather than parallel parking, so up to 10 additional car parking spaces can be accommodated and allow for better access for fire appliances.



# 11.0 PLANNING POLICY

## PLANNING POLICIES

The proposal has been drawn up with reference to the National Planning Policy Framework, document adopted in March 2012. The site is not a designated Conservation Area, nor Green Belt and does not contain any Listed building structures.

The application supports the relevant strategic objectives of planning policy, particularly:

### LAND QUALITY

Policy DS7 is concerned with contaminated land. It states permission will only be granted on contaminated sites where a detailed site survey has been submitted, and a suitable scheme of remedial measures has been agreed to overcome any existing contamination.

The council's environmental health officer has assessed the pre application and asked the developer to follow the advice given. It is therefore considered that the proposal is in accordance with policy DS7.

### AMENITY

Policy DS1 is partly concerned with impacts upon residential amenity. It states that "...No unacceptable loss of amenity to neighbouring land uses should result in terms of noise, smell, fumes, dust or other nuisance, or through the effects of overlooking or overshadowing". Given the nature of the proposal surveillance and a certain level of visual intrusion would be necessary. Furthermore there are no neighbouring business/dwellings within a proximity that would be overly affected by the proposal. It is therefore considered that the proposal would be in accordance with policy DS1 of the North Lincolnshire Local Plan.

### HIGHWAYS

Policy T2 of the North Lincolnshire Local Plan is concerned with access to development and states that all development should be served by a satisfactory access. Policy T19 is concerned with parking provision as well as general highway safety; both policies are considered relevant. The site already has an a car park which would will be extended slightly to allow for ease of parking and better access for fire appliances.

The proposal will provide the creation, expansion and alteration of much needed accommodation without which the existing building cannot facilitate.

# 12.0 SUMMARY

A number of consultants and specialists have been appointed to assist with the proposal of the application including (but not limited to); ecological survey, arboricultural survey, phase 1 geo-environmental and Civils drainage strategy . We trust this information will support the Council's decision regarding this application.

## **Arboricultural**

The proposed development has been positioned to minimise negative impact on the surrounding trees.

The tree lined frontage around the site will be maintained to provide natural screening, these trees will be protected in line with the Arboricultural Report.

## **Ecological**

An Ecologist has reviewed the habitats within and around the site and suggested measures to promote and sustain existing wildlife. These include an area within the site that are designated for preserving natural habitats as well as planting to the embankment that will also benefit the species found in the area.

## **Drainage**

The buildings will be designed with a suitable surface water drainage system capable of accepting runoff from the building roofs, and routed into an attenuation device, this will ensure that the receiving downstream catchment is not overwhelmed by increased flows. The increase in foul water drainage will only have a negligible effect on the on-site existing private drainage.



**OPTIONS ROXBY HOUSE  
WINTERTON ROAD, ROXBY**

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