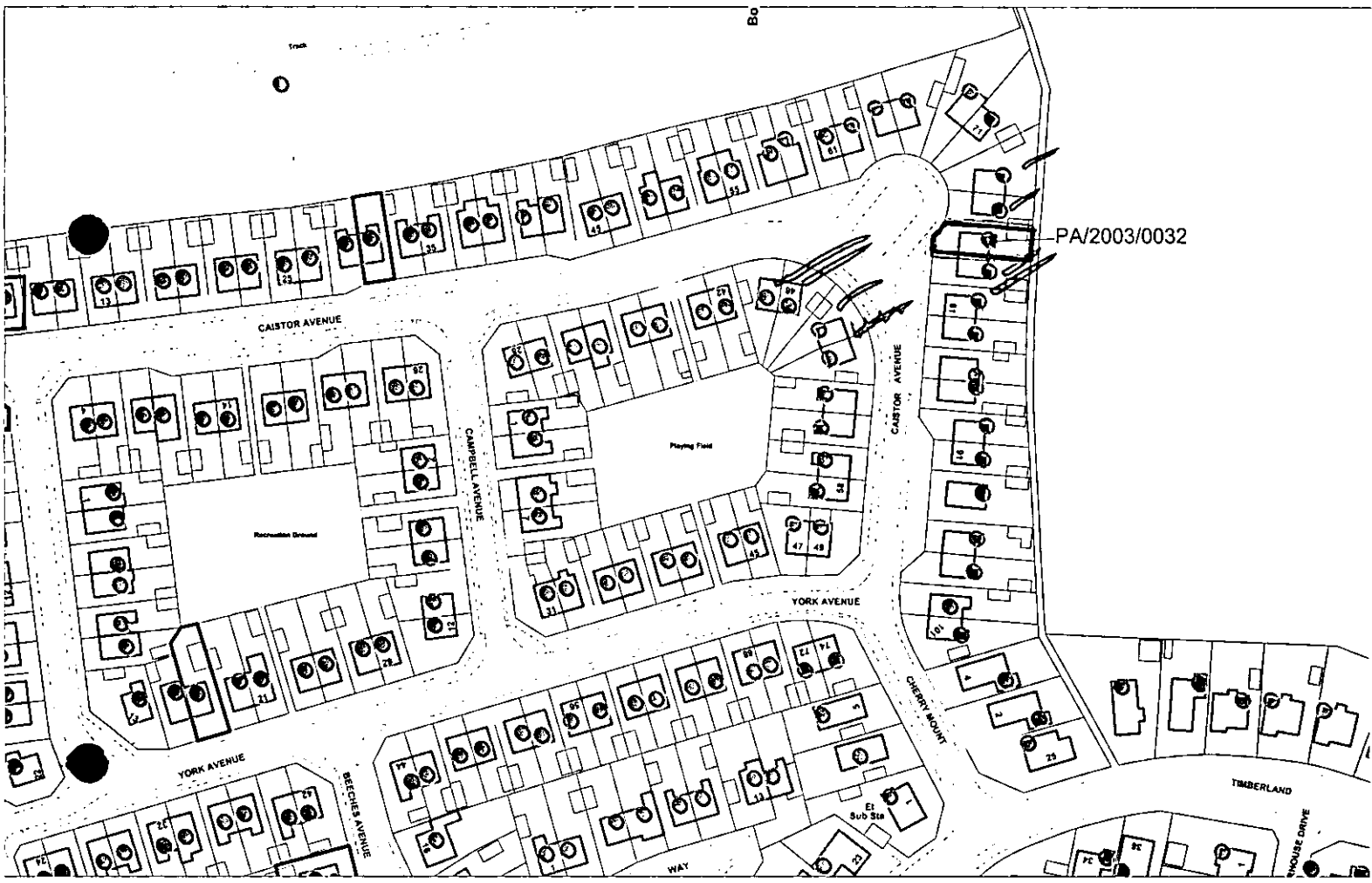


TITLE 2003/0032
SCALE 1:1250



North Lincolnshire Council
Directorate of Environment and Public Protection
Church Square House, Scunthorpe, DN15 6XQ

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NORTH LINCOLNSHIRE COUNCIL LA09082L 2007



PA/2003/0032

CAISTOR AVENUE

YORK AVENUE

CAMPBELL AVENUE

YORK AVENUE

CAISTOR AVENUE

BEECH'S AVENUE

CHERRY MOUNT

TIMBERLAND

HOUSE DRIVE

WAY

Sub Sta

Playing Field

Recreation Ground

Bc

Track

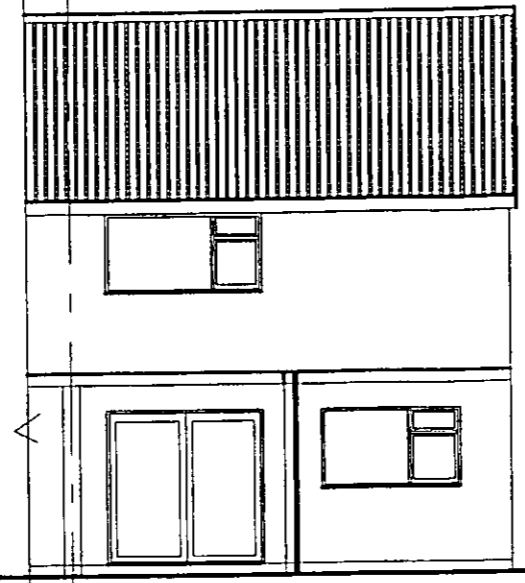
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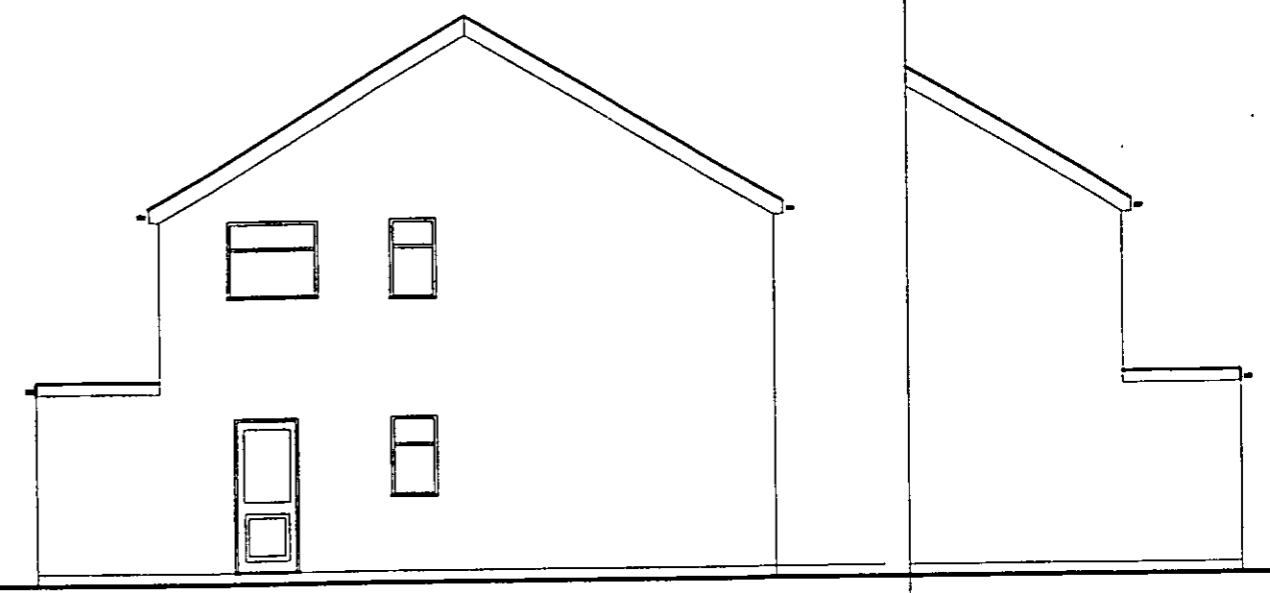
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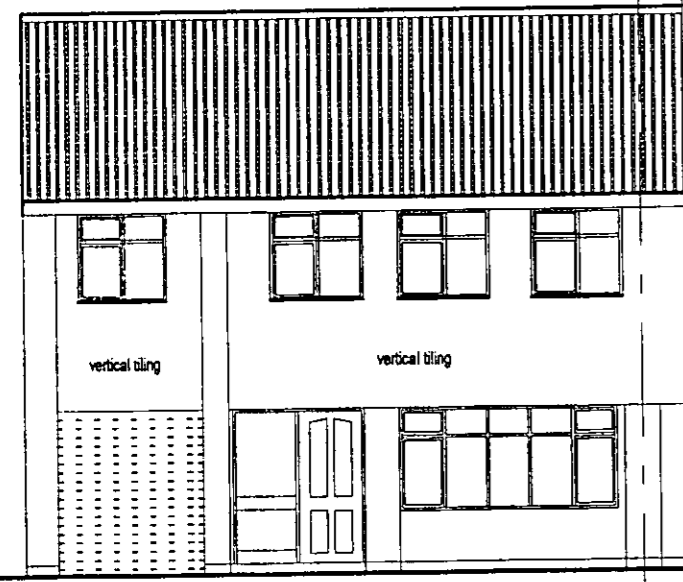
EXISTING FRONT ELEVATION



EXISTING REAR ELEVATION



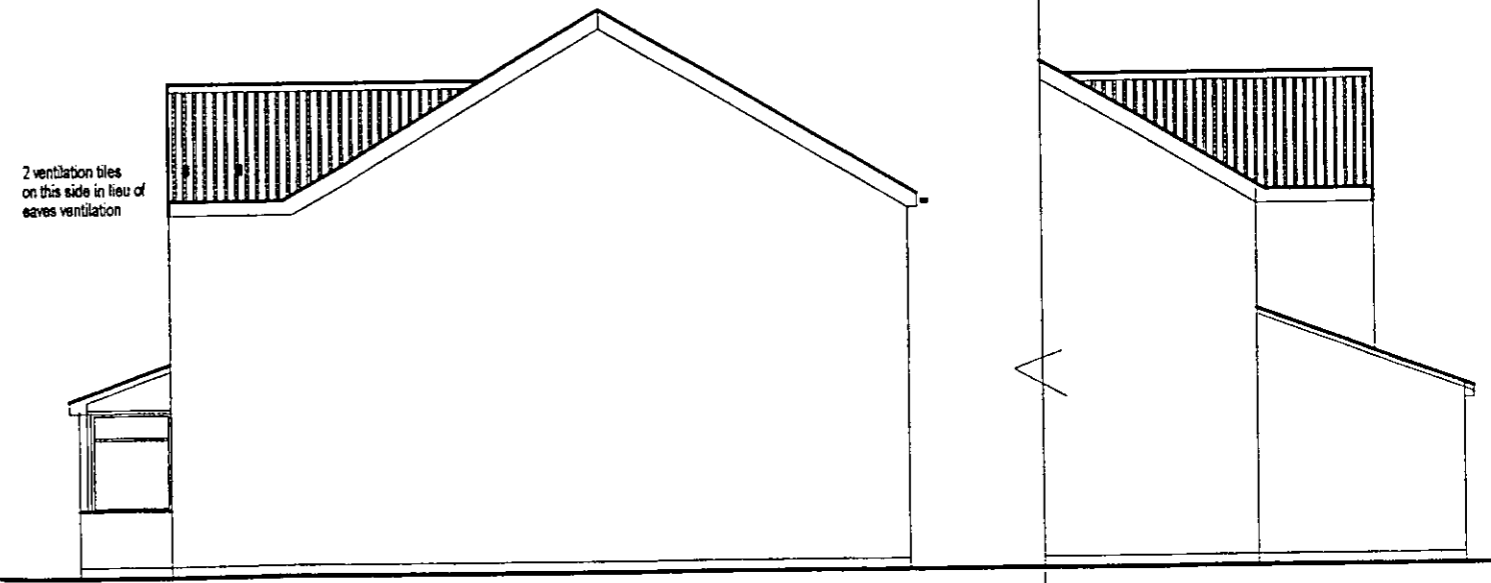
EXISTING SIDE ELEVATIONS



PROPOSED FRONT ELEVATION



PROPOSED REAR ELEVATION



PROPOSED SIDE ELEVATIONS

PROPOSED EXTENSION TO THE SIDE OF
77 CAISTER AVENUE, BOTTESFORD.
FOR MR. R.DENT.

EXISTING/PROPOSED ELEVATIONS
SCALE 1:100
PLAN 1 OF 3

new conservatory to be built in upvc with dwarf brick walling (to match existing dwelling) and triple polycarbonate roof all on suitable foundations with rainwater to existing rainwater system

glazed areas less than 800mm above floor level (windows) and 1500mm (doors and sidelights) to be in safety glass to BS 6206

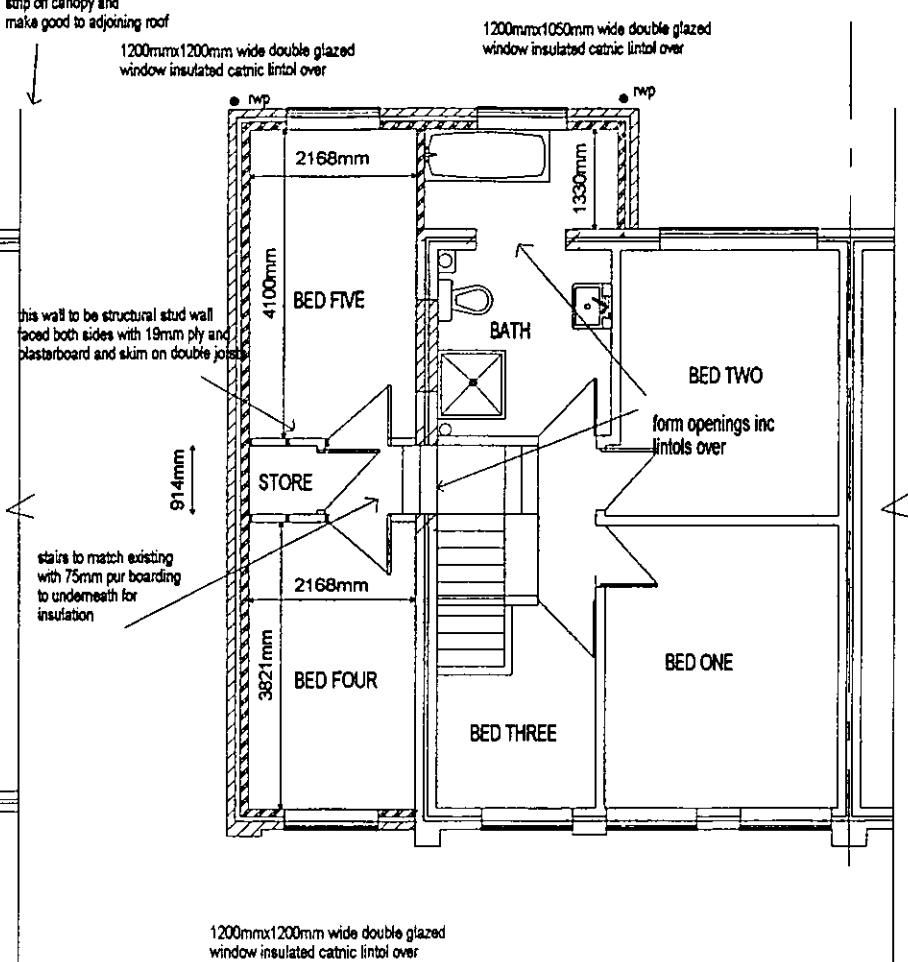
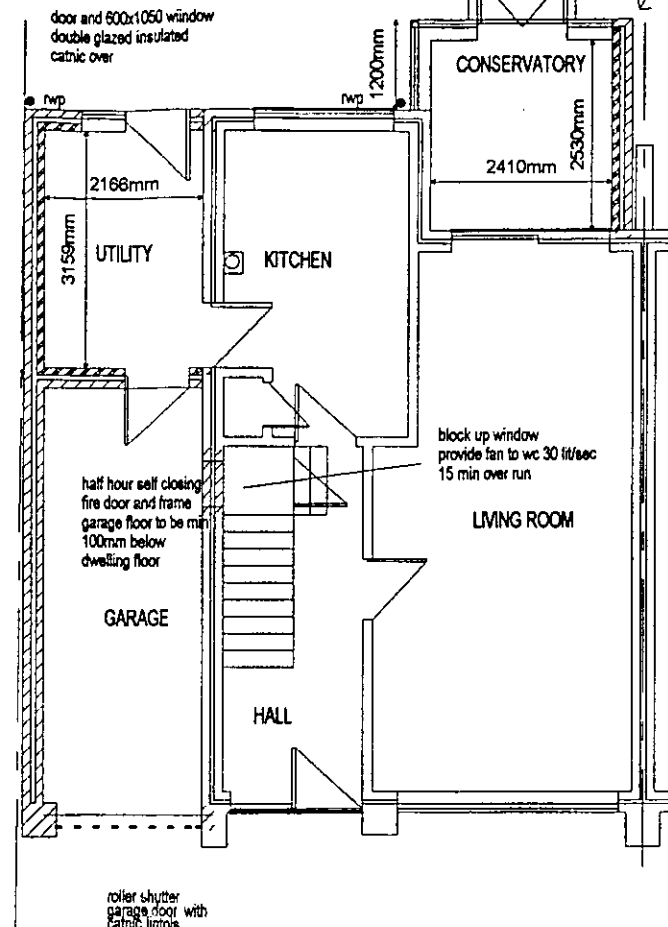
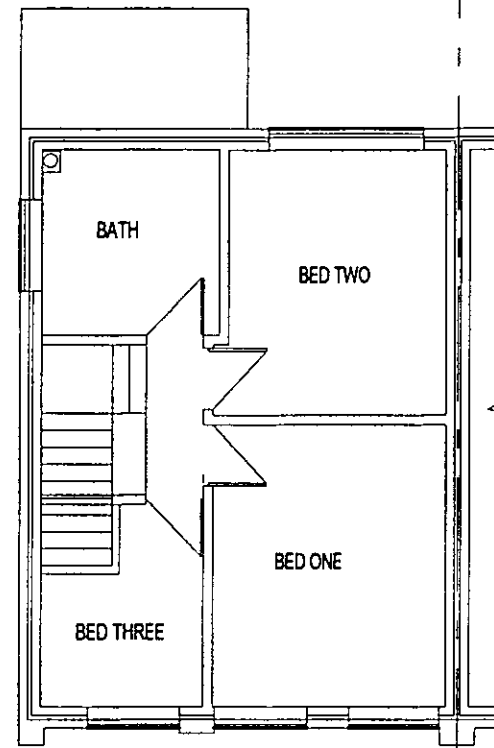
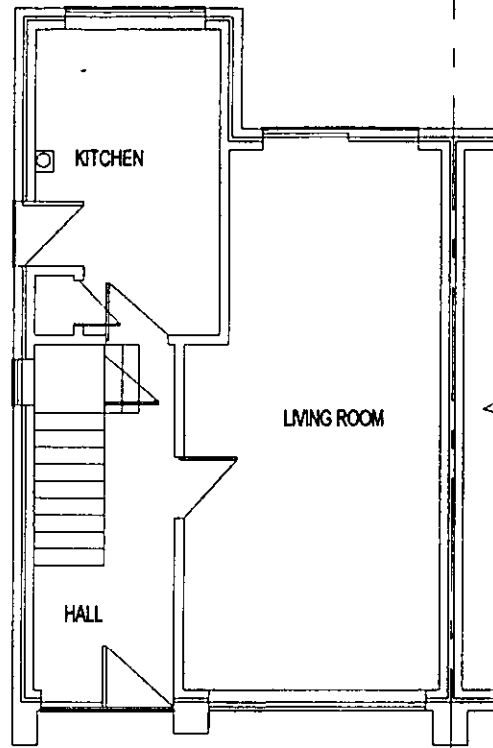
ALL CAVITIES TO BE CLOSED WITH INSULATED CAVITY CLOSERS U VALUE TO CILLS, LINTOLS, AND REVEALS TO BE 1.2
provide trickle vent to each room min 8000 sq mm

extension built on boundary with neighbours permission

this wall to be a cavity wall

provide fan to bathroom 30lt/sec

provide draft stripping to windows/doors/hatches in accordance with part L of building regs



450mm x 450mm square attached brick pillar on foundation with catnic lintols over

stairs to match existing with 75mm pur boarding to underneath for insulation

EXISTING GROUND FLOOR PLAN

EXISTING FIRST FLOOR PLAN

PROPOSED GROUND FLOOR PLAN

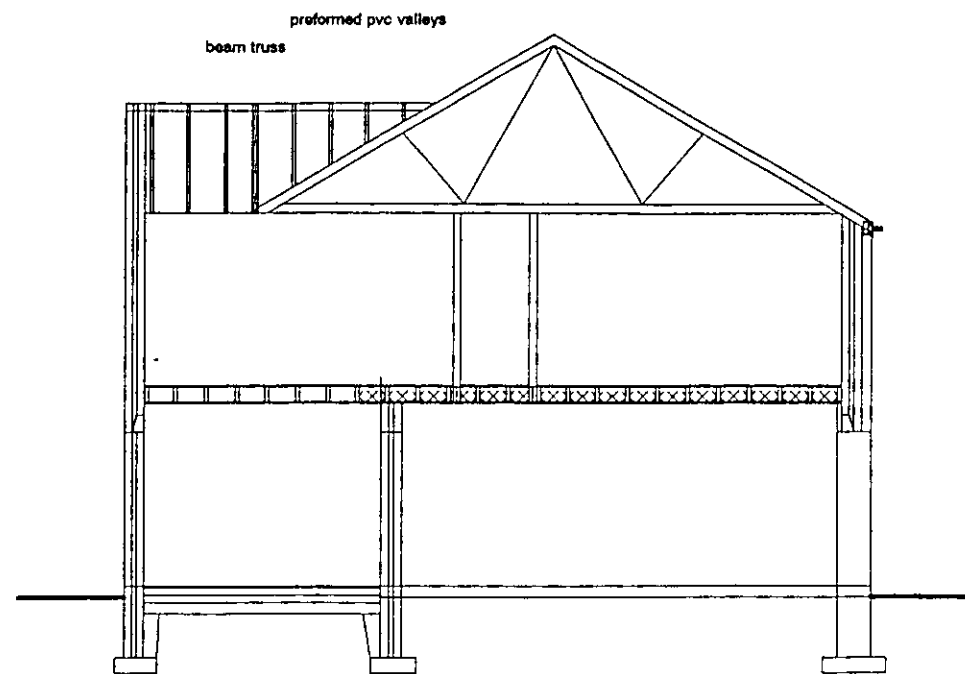
PROPOSED FIRST FLOOR PLAN

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DIRECTORATE OF ENVIRONMENT & PUBLIC PROTECTION
DEVELOPMENT CONTROL SECTION
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escape windows to be provided to all rooms in new extension with a min opening area of 0.33 sq.m. with min dimensions of 450mmx450mm the openings shall be no more than 1100mm above floor level

PROPOSED EXTENSION TO THE SIDE OF
77 CAISTER AVENUE, BOTTESFORD.
FOR MR. R.DENT.

EXISTING\PROPOSED PLANS
SCALE 1:100
PLAN 2 OF 3



typical section

ROOF -pitch 30 degrees as existing-CHECK ON SITE

Concrete interlocking tiles as existing
on 25x38 battens on non tearable
sarking felt

ROOF CONSTRUCTION -pitch as above

Gangnailed roof trusses at 450mm centres all by specialist
with 100x38 windbracing and ceiling ties all to BS 5268 part 3
1985 inc gable straps at 2m centres inc noggings and wall plate
straps;100x50 wallplate;9.5mm plasterboard and min 5mm skim;
250mm fibreglass insulation laid in 2 125mm layers one
layer between joists and one layer cross ways over joists

Anchor ties to be provided at both common spar and ceiling rafter level
ensure 50mm gap between truss and insulation at eaves
wall and ceiling ties to be continuous

100mm gutter 63mm fallpipe to soakways min 5m from building
subject to percolation test

gables and eaves to match existing with
10mm gap for cross ventilation inc flyscreen

EAVES/FASCIAS

Eaves/Gables as existing but with proprietary eaves ventilation system for
cross ventilation (min 10mm continuous)including fly screen;
100mm pvc gutters to existing gutters

FIRST FLOOR CONSTRUCTION

200x50 Floor joists at 400mm centres with straps at 1800mm centres;
where parallel to wall; 19mm flooring grade chipboard;
9.5mm plasterboard and skim to utility and
19mm plasterboard and skim in garage with
150mm fibreglass infill

WALLS

facings bricks to match existing with 65mm cavity filled with
65mm dritherm wall insulation;100mm CELCON STANDARD block
int with 13mm render and set;close cavities at all
openings and eaves inc all cavity trays;dpc to be min
150mm above ground level
vertical tiling to match existing to front

FLOORS

150mm clean hardcore (min) blinded with sand;
1200 gauge polythene dpm;100mm concrete slab;100mm
flooring grade polystyrene on polythene;19mm flooring grade chipboard

FOUNDATIONS

Excavate foundation trench min 1000mm deep;concrete
600x200;All to suit local ground conditions;Depth to
be determined at start of work;First floor courses(min)
brickwork below dpc to be in 2nd class engineering
brickwork;remainder in class 'A' concrete blocks;Weak
concrete cavity fill.

Excavate to kitchen trial holes and underpin and reinforce if found nec.

all plumbing to part I of the b.regs and to current
water board regs.

all drainage to be in 100mm polydrain [fall 1:40] with all
outlets trapped and sealed

all windows to be white UPVC to match existing and shall be double glazed
minimum ventilaton area of windows to be at least 1/20th
of room floor area ALL GLAZING TO BE IN LOW E GLASS

all external lintols to be insulated ig or insulated catnic type to suit
cavities to be closed with insulated cavity closers

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PUBLIC PROTECTION
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PROPOSED EXTENSION TO THE SIDE OF
77 CAISTER AVENUE,BOTTESFORD.
FOR MR. R.DENT.

PROPOSED SECTION

SCALE 1:100
PLAN 3 OF 3

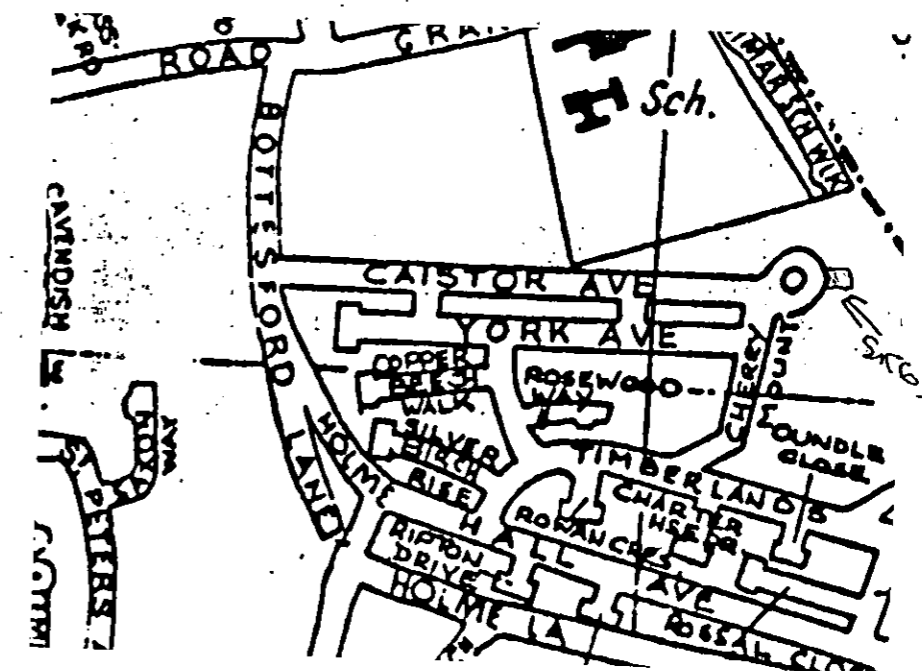
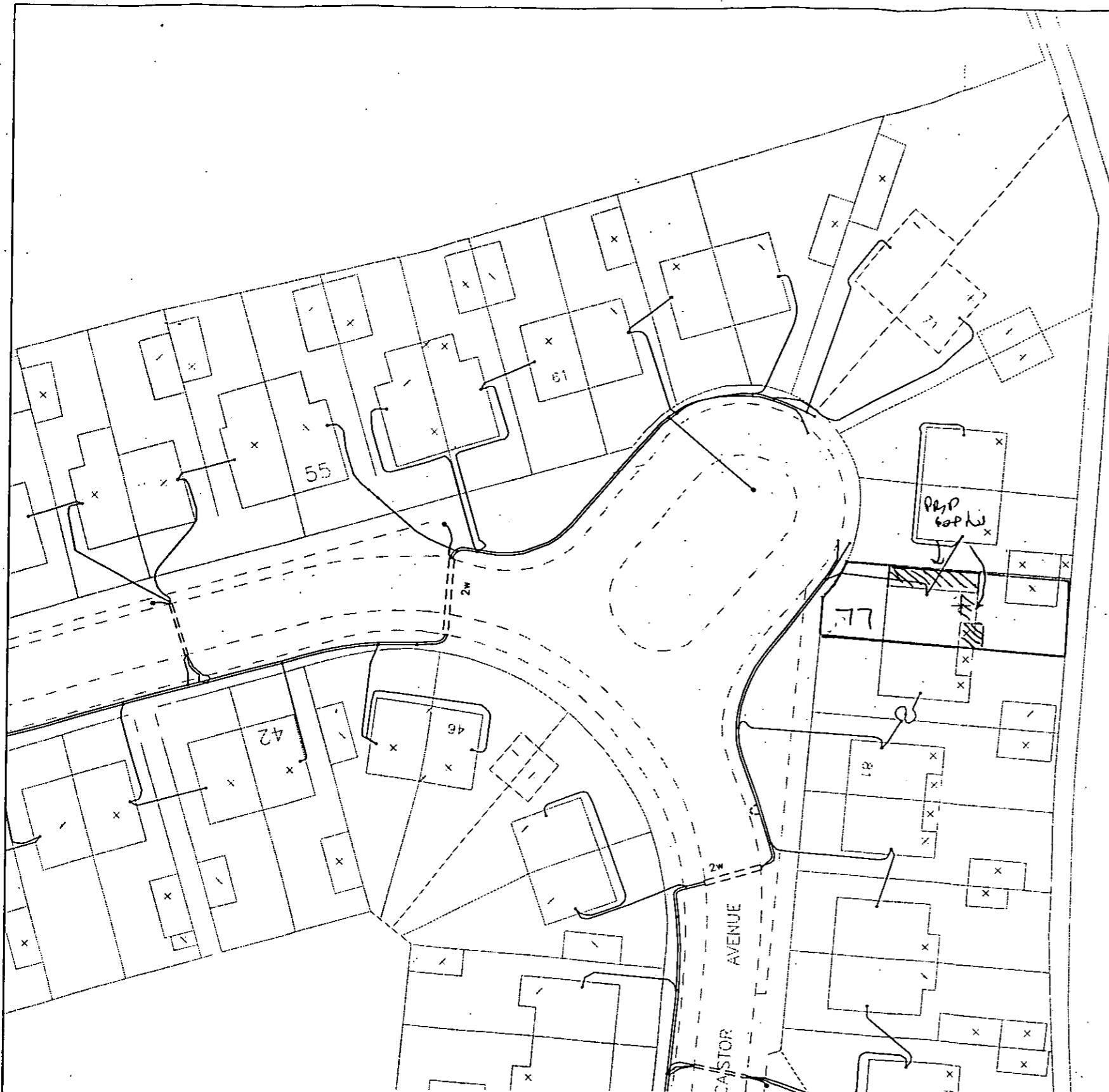
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SIB location

PLEASE NOTE

Plans issued after 30 September 2001 will be issued by Yorkshire Electricity Distribution plc. Any reference on this plan to Yorkshire Electricity Group plc shall from that date be deemed to be a reference to Yorkshire Electricity Distribution plc.

YORKSHIRE ELECTRICITY GROUP plc.

The position of our equipment is shown on this plan as accurately as possible. However, it may have changed since the plan was produced. Therefore, the position of our equipment and those of service cables which may not be shown should be established on site. Electricity cables not owned by Yorkshire Electricity may be laid in this area and may not be shown on this plan. Where private cables are shown, the information should not be regarded as accurate and should be used for guidance purposes only. In all cases, accurate information should be obtained from the owner of such cables prior to the commencement of work on site.

77 CAISTOR AVENUE, SCUNTHORPE



Safe Digging Map

489956,407618

11-11-2002

1:500