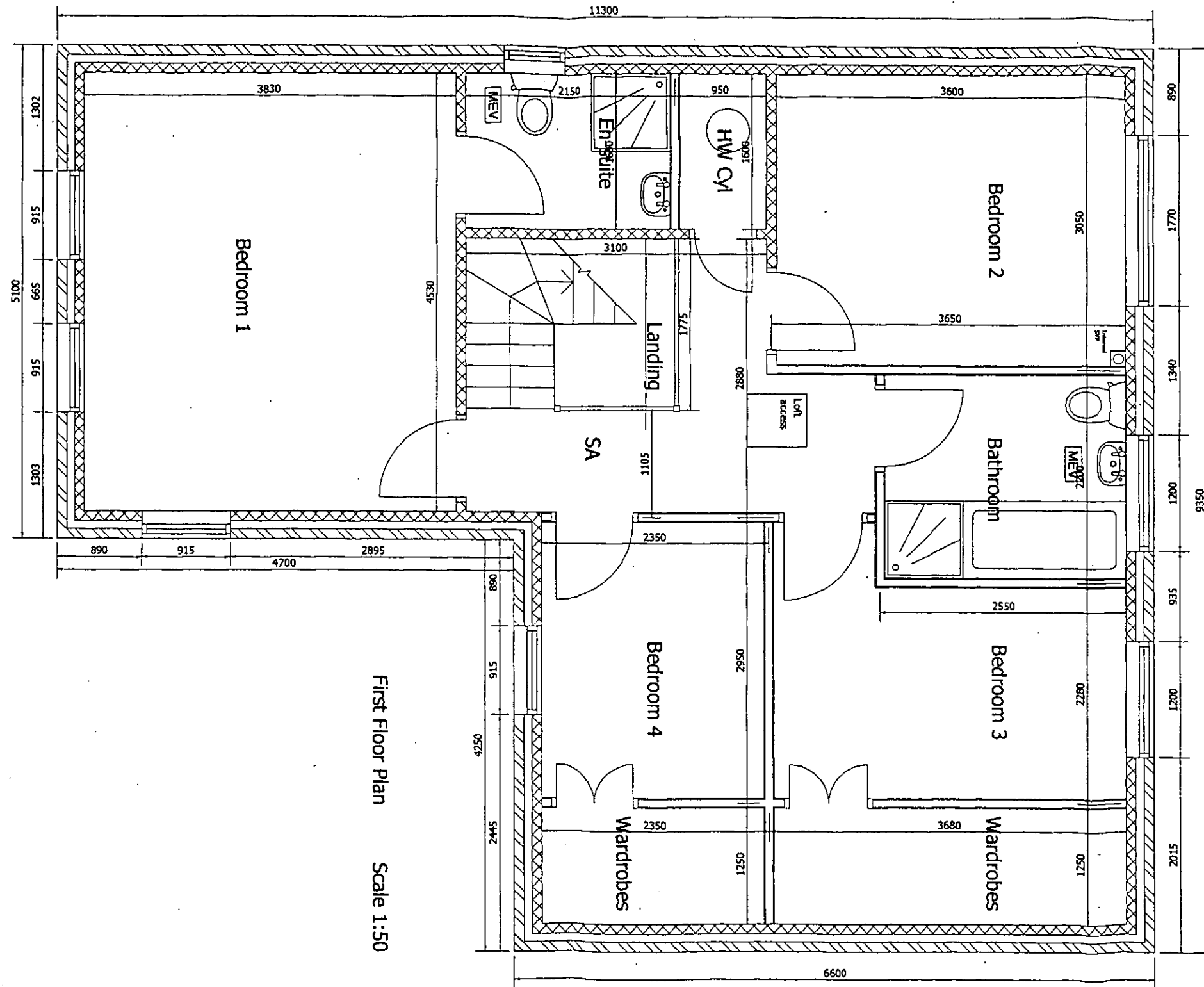


Ground Floor Plan Scale 1:50

A Jan 2004 Lounge reduced by 1m

Project 20131	Plan Contents	Client Mr. G. Ogman	Scale 1:50	Adam James Consultancy Ltd	Rev A
Proposed new Detached House on Plot 12 Burnham Rd Development, Owston Ferry Nr. Doncaster, North Lincolnshire.	Ground Floor Plan	3 The Goldings, Haxey Nr. Doncaster North Lincolnshire, DN9 2QA	Drawn A.J. Date August 2003	Architectural Design, Planning, Building Regulations Submissions & Building Conservation 6 West End, Epworth, Nr. Doncaster, S. Yorks. DN9 1LB Tel/Fax (01427) 875 565 E-Mail: ajc@adjc.co.uk	02/pl



First Floor Plan Scale 1:50

A Jan 2004 Bedroom reduced by 1m

<p>Project 20131 Proposed new Detached House on Plot 12 Burnham Rd Development, Owston Ferry Nr. Doncaster, North Lincolnshire.</p>	<p>Plan Contents First Floor Plan</p>	<p>Client Mr. G. Ogman 3 The Goldings, Haxey Nr. Doncaster North Lincolnshire, DN9 2QA</p>	<p>Scale 1:50 Drawn A.J. Date August 2003</p>	<p>Adam James Consultancy Ltd Architectural Design, Planning, Building Regulations Submissions & Building Conservation 6 West End Epworth Nr. Doncaster S170LJ UK Tel/Fax (01427) 873 563 E-Mail: ajc@adamjames.com</p>	<p>Rev A 03/pl</p>
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Front Elevation Scale 1:100



Side Elevation Scale 1:100



Roof: Sandloft Red Double Pan Tiles

Brickwork: Desimple Kinningworth Multi Red

Windows/Doors White Upvc

Side Elevation Scale 1:100



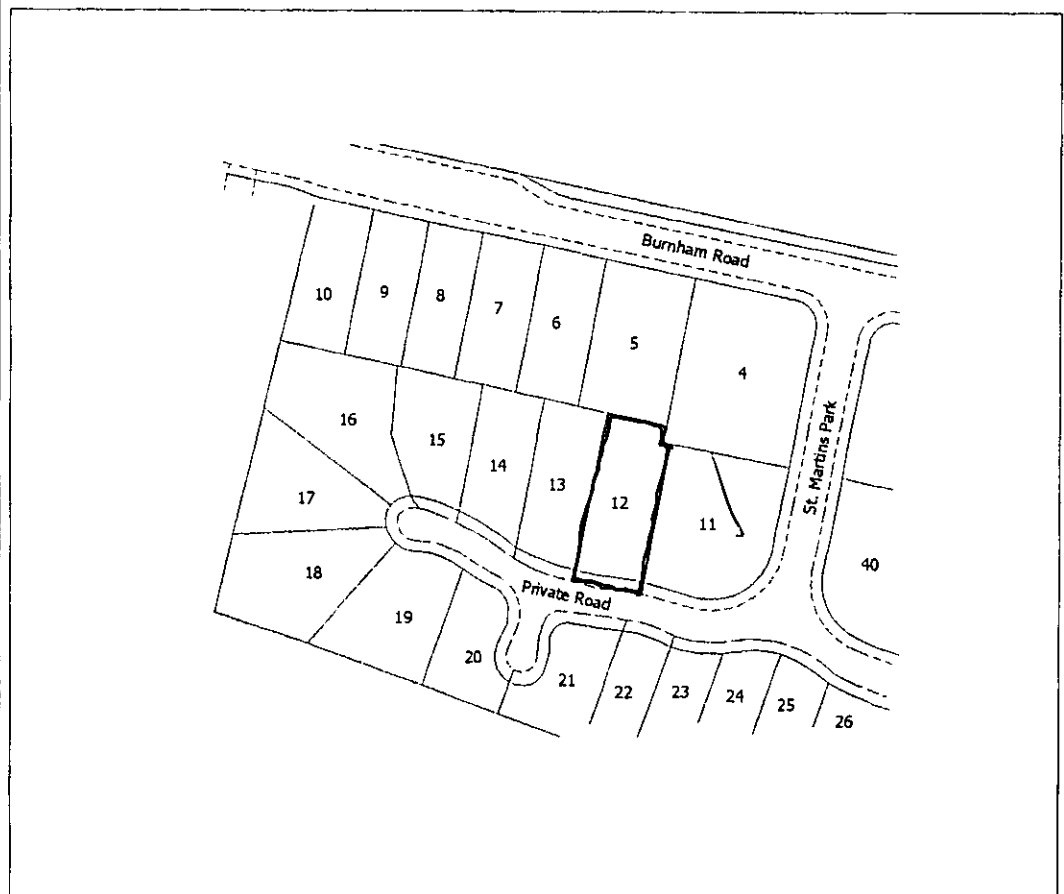
Rear Elevation Scale 1:100

A Jan 2004 Lounge reduced by 1m

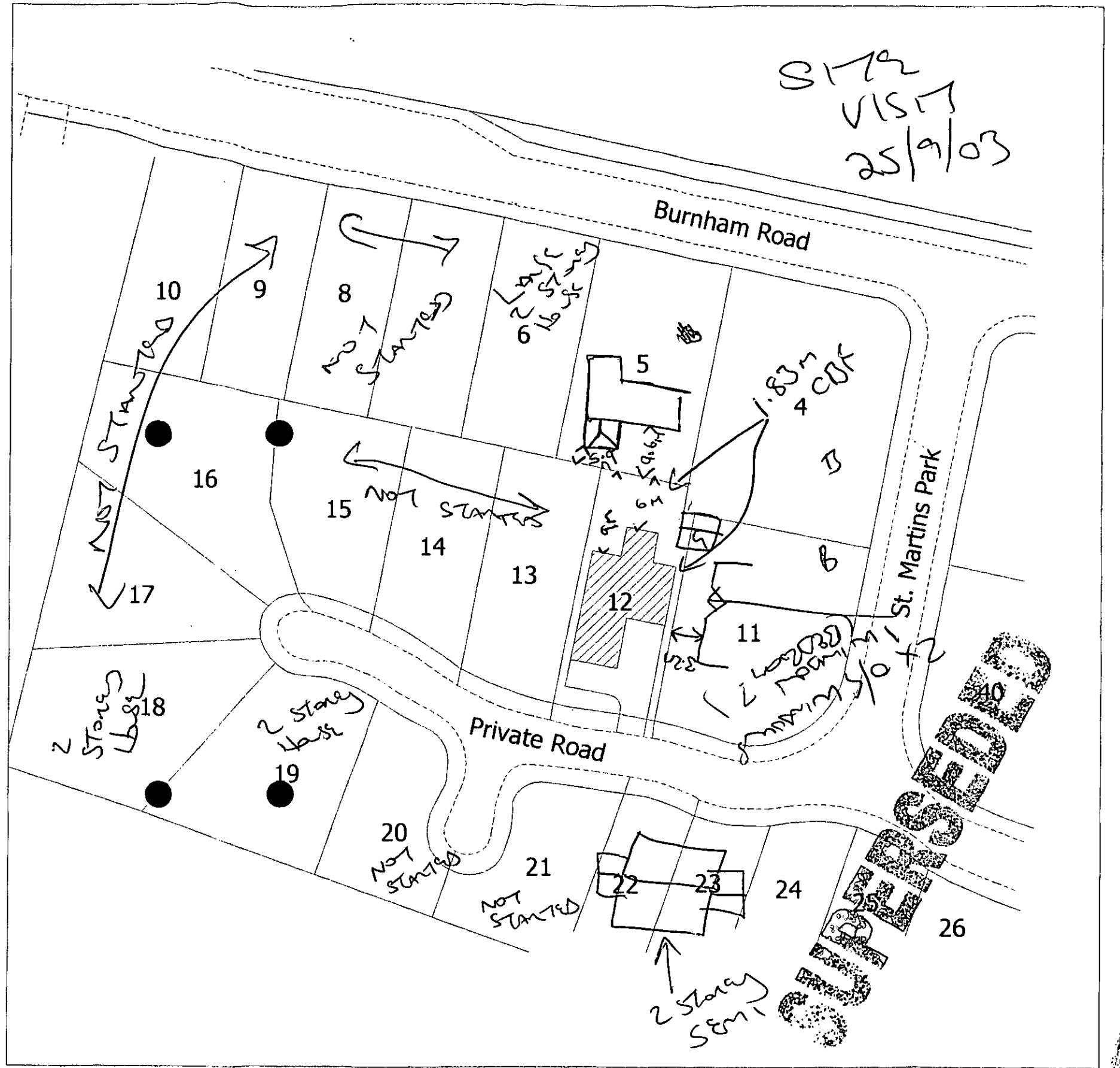
Project 20131	Plan Contents	Client Mr. G. Ogman	Scale 1:100	Rev A
Proposed new Detached House on Plot 12 Burnham Rd Development, Owston Ferry Nr. Doncaster, North Lincolnshire.	Elevations	3 The Goldings, Haxey Nr. Doncaster North Lincolnshire. DN9 2QA	Drawn A.J	Adam James Consultancy Ltd Architectural Design, Planning, Building Regulations Submissions & Building Conservation 9 West End, Epworth, Nr. Doncaster, S. Yorks DN8 1LB Tel/Fax (01427) 873 343 E-Mail: ajc@ajcconsult.com
			Date August 2003	

SITE VISIT 25/9/03

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SITE LOCATION PLAN 1:1250



BLOCK PLAN 1:500



DENOTES NEW HOUSE

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Proposed new Detached House on Plot 12 Burnham Rd Development, Owston Ferry Nr. Doncaster, North Lincolnshire.	Site Location and Block Plans	3 The Goldings, Haxey Nr. Doncaster North Lincolnshire, DN9 2QA	Drawn A.J	01/pl
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			Adam James Consultancy Ltd Architectural Design, Planning, Building Regulations Submissions & Building Conservation 6 West End Epworth Nr Doncaster S Yorks DN9 1LB Tel/Fax (01427) 875 565 E-mail: ajc@ajc.co.uk This Drawing is Copyright ©	

unoccupied
(2 Storey
House)
Meadow
College
Burnham
Road.
Poplar house
(Burnham)



unoccupied no. 26
2 storey
house

Plot
23
2 Storey
Semi S.

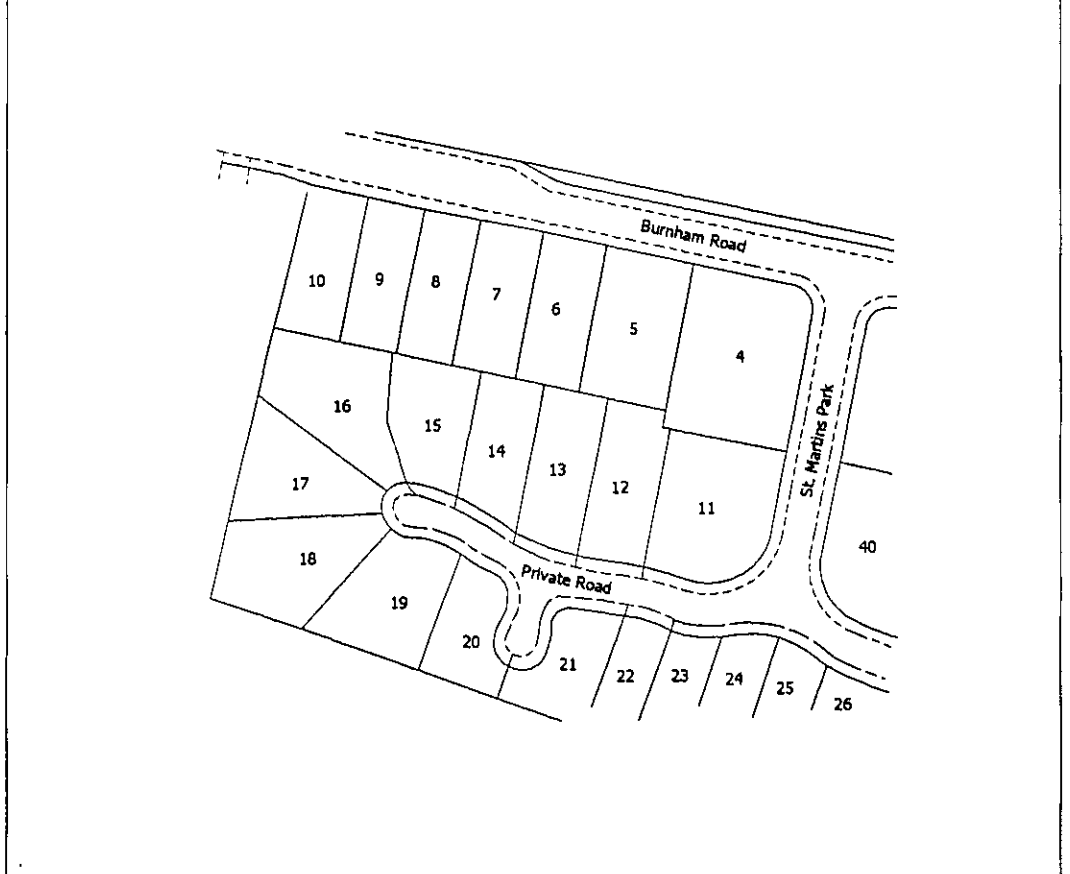
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**AMENDED
DRAWING**

BLOCK PLAN 1:500



SITE LOCATION PLAN 1:1250

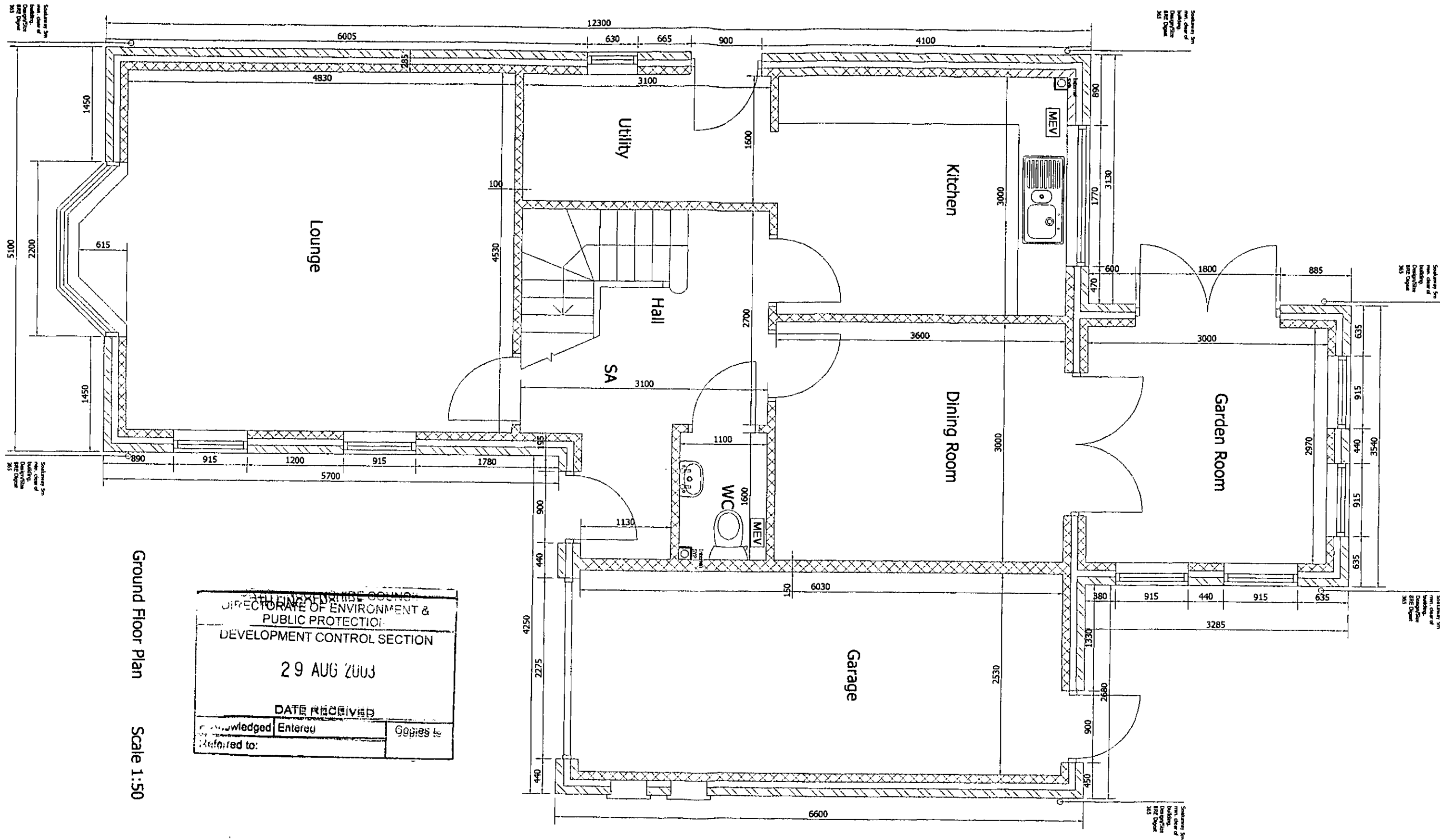
A Oct 2003 House moved to 11.6m from rear boundary



 DENOTES NEW HOUSE

Project 20131	Plan Contents	Client Mr. G. Ogman	Scale 1:1250/1:500	Adam James Consultancy Ltd Architectural Design, Planning, Building Regulations Submissions & Building Conservation 8 West End Epworth Nr Doncaster S Yorks DN9 1LR Tel/Fax (01427) 871 563 E-Mail: ajc_b@btinternet.com This Drawing is Copyright ©	Rev A
Proposed new Detached House on Plot 12 Burnham Rd Development, Owston Ferry Nr. Doncaster, North Lincolnshire.	Site Location and Block Plans	3 The Goldings, Haxey Nr. Doncaster North Lincolnshire, DN9 2QA	Drawn A.J.		01/pl
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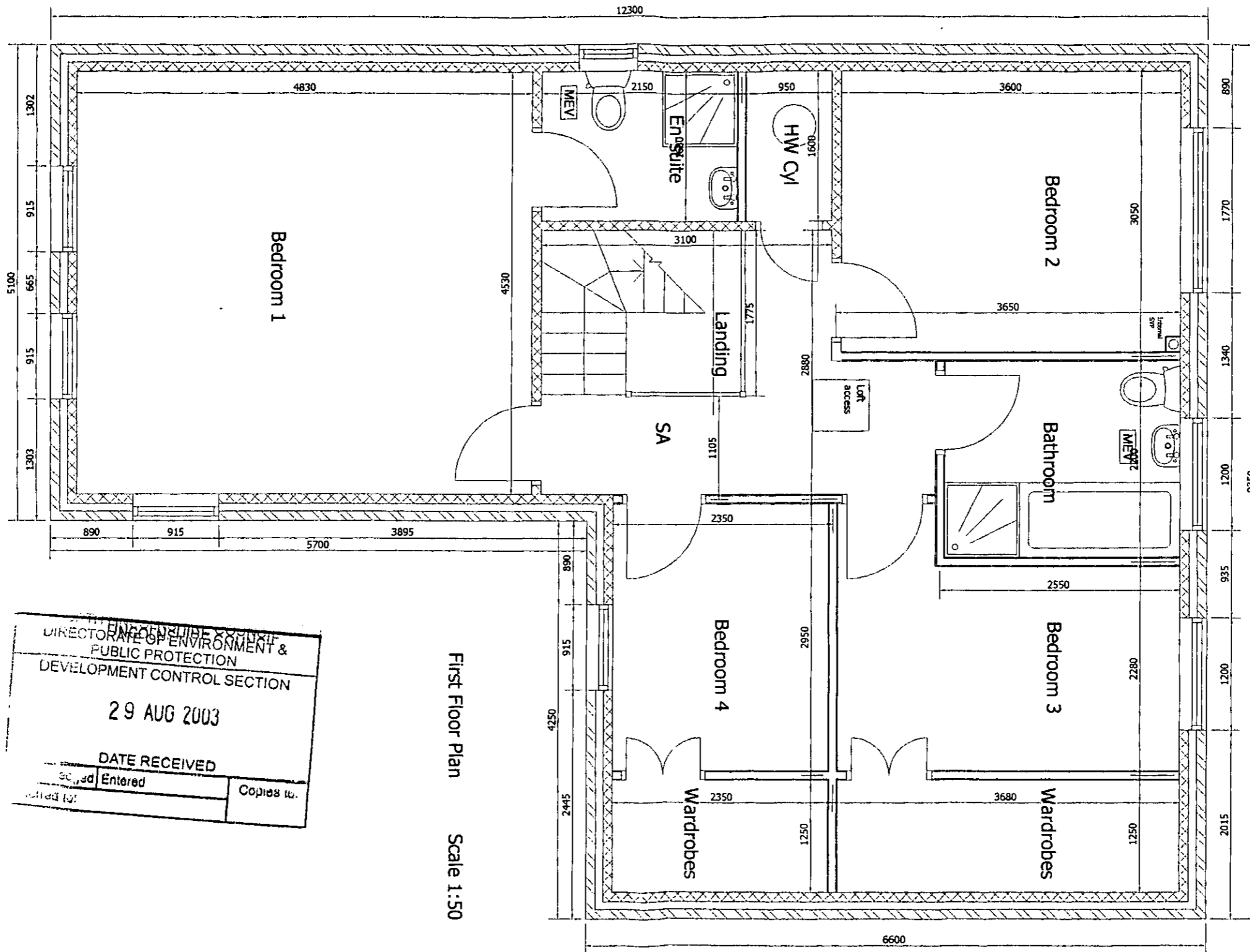
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Ground Floor Plan Scale 1:50

Project 20131	Plan Contents	Client Mr. G. Ogman	Scale 1:50	Adam James Consultancy Ltd Architectural Design, Planning, Building Regulations Submissions & Building Conservation 6 West End, Epworth, Nr. Doncaster, S. Yorks. DN9 1LB Tel/Fax (01427) 875 565 E-Mail: ajc@aditional.com This Drawing is Copyright ©	Rev
Proposed new Detached House on Plot 12 Burnham Rd Development, Owston Ferry Nr. Doncaster, North Lincolnshire.	Ground Floor Plan	3 The Goldings, Haxey Nr. Doncaster North Lincolnshire, DN9 2QA	Drawn A.J		02/pl
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First Floor Plan Scale 1:50

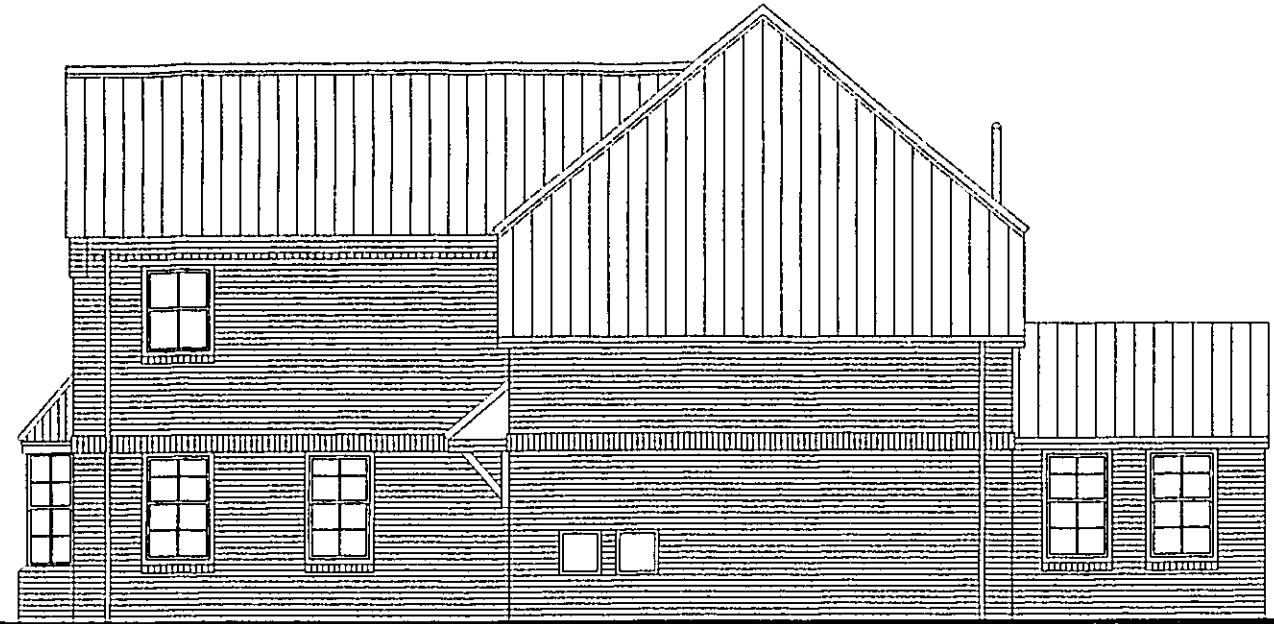
Project 20131	Plan Contents	Client Mr. G. Ogman	Scale 1:50	Adam James Consultancy Ltd Architectural Design, Planning, Building Regulations Submissions & Building Conservation 6 West End Epworth Nr. Doncaster S10 6LS Tel/Fax (01422) 875 365 E-Mail: ajc@ahotelmail.com The Drawing is Copyright ©
Proposed new Detached House on Plot 12 Burnham Rd Development, Owston Ferry Nr. Doncaster, North Lincolnshire.	First Floor Plan	3 The Goldings, Haxey Nr. Doncaster North Lincolnshire, DN9 2QA	Drawn A.J.	
			Date August 2003	

Rev .
03/pl

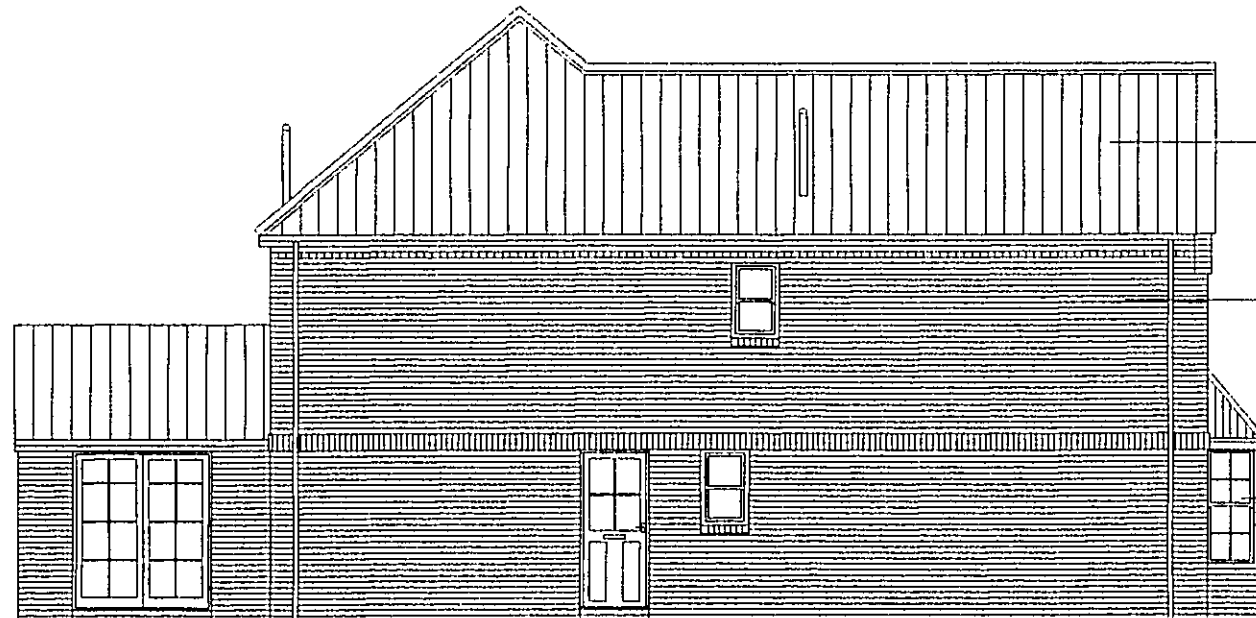


Front Elevation Scale 1:100

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Side Elevation Scale 1:100



Side Elevation Scale 1:100

Roof: Sandtoft Red Double Pan Tiles

Brickwork: Desimple Kinningworth Multi Red

Windows/Doors White Upvc



Rear Elevation Scale 1:100

Project 20131	Plan Contents	Client Mr. G. Ogman	Scale 1:100	Adam James Consultancy Ltd Architectural Design, Planning, Building Regulations Submissions & Building Conservation 6 West End, Egworth, Nr. Doncaster, S. Yorks. DN9 1LB Tel/Fax (01427) 875 565 E-Mail: ajc@btinternet.com <small>The Drawing is Copyright ©</small>	Rev
Proposed new Detached House on Plot 12 Burnham Rd Development, Owston Ferry Nr. Doncaster, North Lincolnshire.	Elevations	3 The Goldings, Haxey Nr. Doncaster North Lincolnshire, DN9 2QA	Drawn A.J		04/pl
			Date August 2003		

FOUNDATIONS: External wall foundations to be 225x600 mm wide at depth to be agreed with the L.A. but min 600mm below GL and to suit ground conditions. All concrete 30N/mm². Internal load bearing walls to be 225mm x 450mm wide.

EXTERNAL WALLS: Below DPC-100mm blockwork 7N/mm² to BS6073 pt 1, 1981 to be filled with concrete up to 150mm below DPC. Two courses of engineering brickwork class B (150mm) below DPC level. Above DPC 102.5mm facing brickwork, 53.5mm clear cavity, 29mm Celotex CW2029 insulation board held against inner leaf with retaining clips over wall ties, 100mm Celcon Standard Blockwork, render and skim finish. 'U' value 0.35. Total structural width 285mm. Wall ties to be spaced at 750mm c/c horizontally & 450mm vertically & staggered with ties at 225mm vertical c/c to jambs of openings. Provide thermabate or similar approved cavity closers to all openings to avoid cold bridging. Dpc to heads, jambs & cills of all openings through external walls & min 150mm above g.l to both leaves.

LINTELS: to external walls to be Catnic fixed in accordance with manufacturers instructions. Cavity trays with stop ends to unprotected lintels. Weep hole ducts at 450mm c/c a minimum of 2 per opening. Internal PC concrete appropriate for span. Steelwork to SE design and specification.

INTERNAL WALLS: Load bearing shown on plan 100mm light weight blockwork, 2.8N/mm² to BS6073 Pt. 1 1985. Stud Partitions 75x47mm sw studs @ 400c/c with 75x47 sw noggins @ 600c/c faced each side with 15mm Gyproc Wall Board and skim. Joints taped. Total width 105mm to comply with Approved Document E of the Building Regulations.

WINDOWS AND DOORS: Windows to be in white Upvc with Pilkington K Low Emissive sealed double glazed units with 16mm air gap to give average 'U' value of 0.2 and to comply with Approved Document L1. Openings not less than 1/20th of relevant floor area with a minimum opening of 450mm x 450mm or 0.33m² to habitable rooms. Windows & French windows to be double glazed & fitted with 8000sq.mm trickle vents. All windows below 800mm from the floor level & adjacent to doors below 1500mm from the floor level to be safety glazed to BS6206 1981 & approved document N. All opening elements of windows, doors, roof lights & loft access to be sealed with draught excluder. 1 roof light to provide means of escape-max. 1.7m from eaves. Door to garage F30, step 100mm.

GROUND FLOOR CONSTRUCTION: 63mm screed on 100mm site concrete, mix 21N/mm² on Vapour barrier on 60mm Celotex FL2060 Insulation Board on 1200 gauge DPM on 38mm sand on 150mm sulphate free hardcore, U'U' value 0.25.

FIRST FLOOR: 22mm t & g s.w. floorboards on SC3 grade s.w. Joists, see plans for details. Strutting at mid span with 5 x 30mm galv. m.s. straps to 3no. joists parallel to walls (supported by 50 x 50mm s.w. noggins) at max 2.0m c/c. 12.7mm plasterboard & skim to all ceilings. Joists to be supported on Bat heavy-duty galv. m.s. Joist at trimmer junction with double joists below parallel partitions. Joists doubled under bath with 100mm quilt insulation between all joists to first floor.

FIRST FLOOR GARAGE: As above but with 200mm of fibreglass insulation between rafters and 2 x 12.5mm plasterboard, joints taped and fixed staggered and skim for F30 fire protection, to comply with Approved Document E and L of the Building Regulations.

ROOF CONSTRUCTION HOUSE: Clay interlocking tiles on 25x38mm s.w. battens on breathable membrane on trussed rafters to BS5268 Part 3 1985 to manufacturers design and specifications at max 600mm c/c. 5.30mm galv m.s. straps at max 2.0m c/c fixed at ceiling tie & rafter level to extend over 3no. trusses. Straps to be supported by 50x50mm noggins between ties. Buttrressing walls to be restrained at ceiling level with 5x30mm galv. m.s. straps at max 2.0m centres supported by 50x50mm noggins between ties. 100mm and 150mm fibreglass insulation quilt to be laid between ceiling ties and at right angles to give U value of 0.16w/sq.mdeg C. Sloping ceiling areas: 90mm Celotex GA2090 fixed below rafters with 12.5mm PB and skim finish. 'U' value 0.2. No ventilation required because of breathable membrane. Cold rnk supports consisting of 25mm C4 grade chipboard on 2no. 50x75mm members spanning over 4 no. rafters. All tiles to be nailed & verges clipped.

PLUMBING: Hot and cold water systems to BS310. 100mm pvc svp to terminate with Durgo valve or min 900mm above adjacent window head height fitted with balloon grating within 3.0m. 32mm PVC basin waste. Separate 38mm pvc bath, sink & shower waste. Separate connections to svp & gullies where indicated. 76mm resealing traps to all appliances. 50mm bidet waste & combined waste where exceeding 1.7m in length. Anti syphon traps where required and to the specification of plumbing contractor. Provide access to boxing in bathroom. Boxing for concealed services to be sealed at floor & ceiling levels & service pipes penetrating into hollow construction or voids to be sealed. SVP to provide open vent to system.

RAINWATER GOODS: 112mm black square section PVC gutters & 69mm square section down pipes to discharge into b.i.g then to hollow soakaway min 5.0m from all buildings.

HEATING CLASS 2 APPLIANCES: All work by CORGI registered engineer. Gas fired central heating via a wall-mounted boiler fitted with a balanced flue located in Garage. Hot water to be supplied by this boiler & to be a vented system. The central heating system is to have separate zone controls to the living & bedroom areas by either room thermostats or by thermostatic radiator valves.

INSULATION OF PIPES: All pipe work & tanks in roof void to be lagged.

STAIRCASE: Standard timber staircase 900mm wide with 13no. equal risers of 200mm and treads of 225mm. Max pitch of 42 deg, handrail max 900mm high.

DRAINAGE: 100mm Hepseal pipes with flexible joints laid in accordance with manufacturers instructions. Where drains pass through external wall provide lintol. Provide proprietary grp manholes to a depth of 900mm or 215mm eng. Brick man holes on 100mm concrete base with light duty covers in garden areas & heavy duty in drives. Foul sewer to discharge into mains system. See GF layout, Details D1-D4. exact layout determined on site.

GENERAL NOTES: Wiring to latest I.E.E. regulations. All sockets, light fittings, kitchen & utility room, bathroom & en-suite fittings to client's requirements. Efficient lighting required to min. 4 rooms where lighting expected to have most use and shall be illuminated by fixed light fittings having a luminous efficacy greater than 40 lumens per circuit watt, e.g. fluorescent tubes. Plugs and tapping points for all services including gas and electricity to be located a minimum of 150mm above Ground FFL. Reasonable provision to be made to reduce unwanted air leakage. Adoption of recommendations in the report on robust construction - Limiting thermal bridging and air leakage: Robust Construction Details for dwellings and similar buildings will satisfy Building Regulations. Mechanical extract ventilation to be provided to the kitchen & utility area capable of extracting at a rate not less than 60 litre per second (or incorporated within a cooker hood capable of extracting at a rate of 30 litres per second) which may be operated intermittently. Background ventilation to be provided to the kitchen area either by a controllable & secure opening having a total area not less than 4000sq.mm Eg.trickle ventilator or by mechanical ventilation. Mechanical extract ventilation shall be provided to all bathrooms & en-suite capable of extracting at a rate not less than 15 litre per second. Mechanical extract ventilation also to be provided to ground floor W.C.s capable of extracting 3 air changes per hour with 15 minute over run wired to light switch. Smoke alarms to be positioned at ground & first floor level as indicated on plans in a position to conform to Part B of the Building Regulations and wired back to a separately fused circuit in the distribution board. Alarms where fitted on ceiling to be at least 300mm from any wall or light fitting. Porch roof to be finished as per main roof with 50 x 100mm s.w. rafters at a max 600mm c/c.

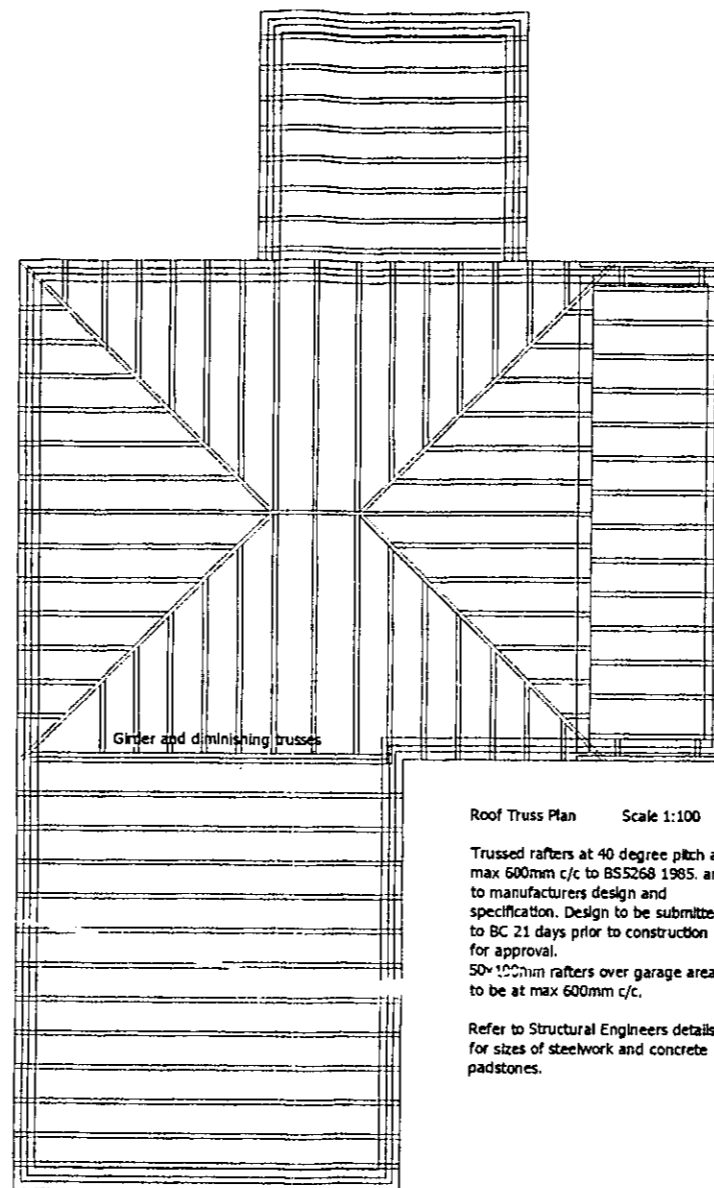
Attention should be paid to section/plans and annotation.

Building Regulations Part M:

All ground floor internal doors to be 838mm wide giving a clear opening of min 750mm. GF Corridors min. 900mm wide. GF WC to have a clear area of min. 750mm in front of pan. door open outwards.

All electric light switches & sockets are to be located min 450mm & max 1200mm above floor level. Principal entrance door to dwelling in terms of disabled access to have a clear opening width of 810mm and threshold no higher than 15mm. Pathway to principal entrance min. 900mm wide. Drive and path to be finished in a firm surface. Approach to principal entrance to be level, (max. gradient 1:20) 1.2m deep landing in front of principal entrance. External wall DPC to be adjusted to accommodate ramp and landing.

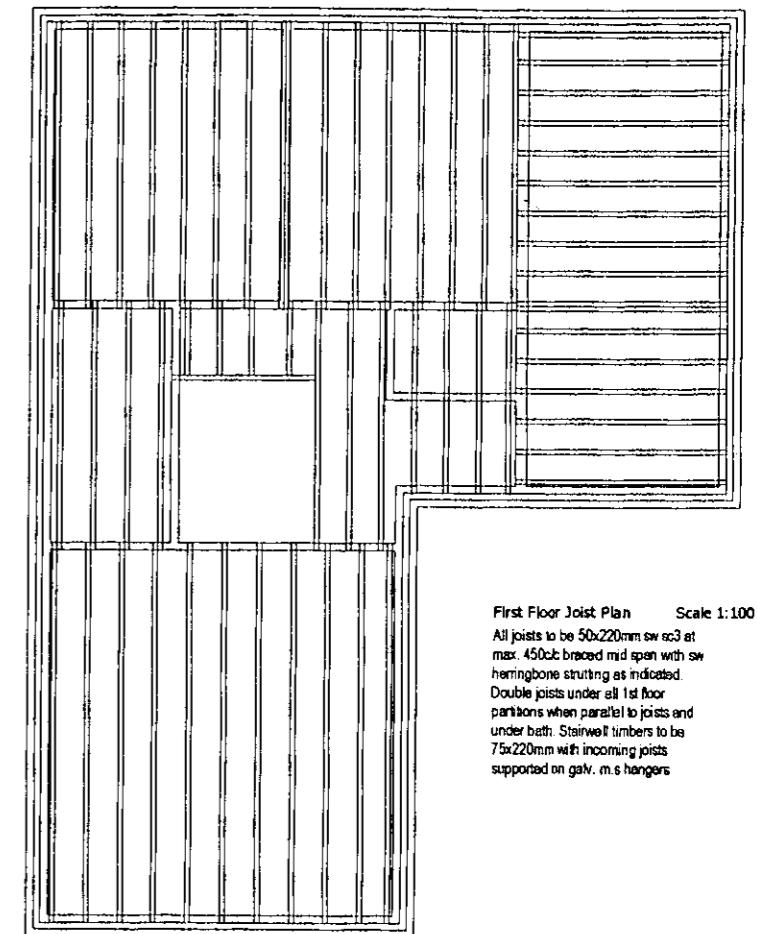
All work to comply with BS8000. Construction to comply with Building Regulations 1991 and subsequent amendments, NHBC Regulations and appropriate British Standards. All dimensions checked on site and not scaled from this suite of drawings. All drawings 01/pl to 07/pl copyright Adam James Consultancy Ltd.



Roof Truss Plan Scale 1:100

Trussed rafters at 40 degree pitch at max 600mm c/c to BS5268 1985, and to manufacturers design and specification. Design to be submitted to BC 21 days prior to construction for approval. 50x100mm rafters over garage areas to be at max 600mm c/c.

Refer to Structural Engineers details for sizes of steelwork and concrete padstones.



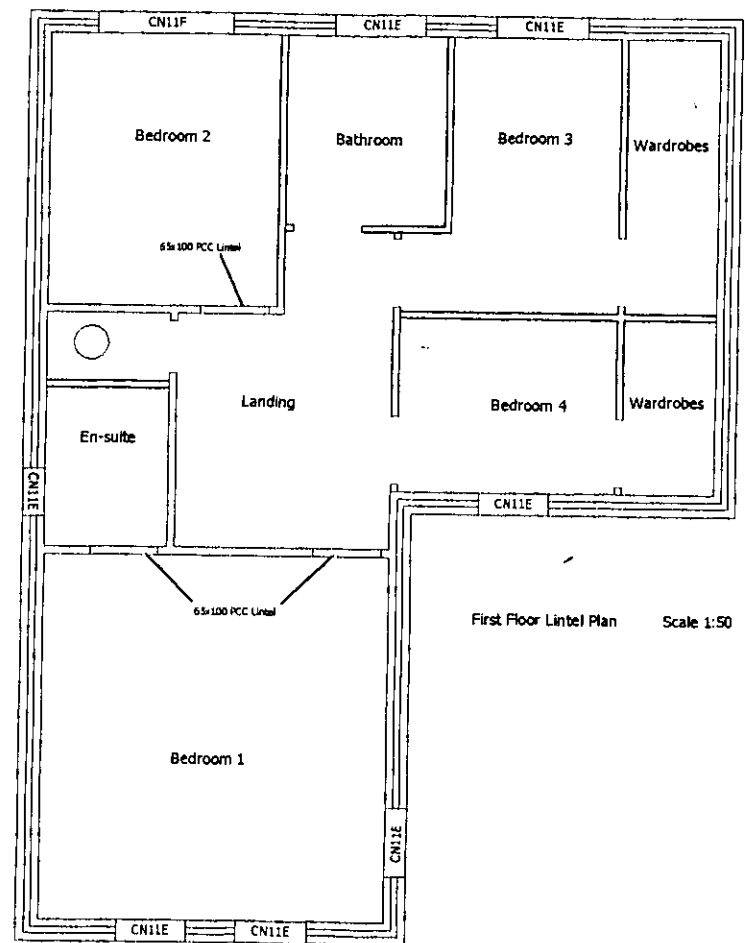
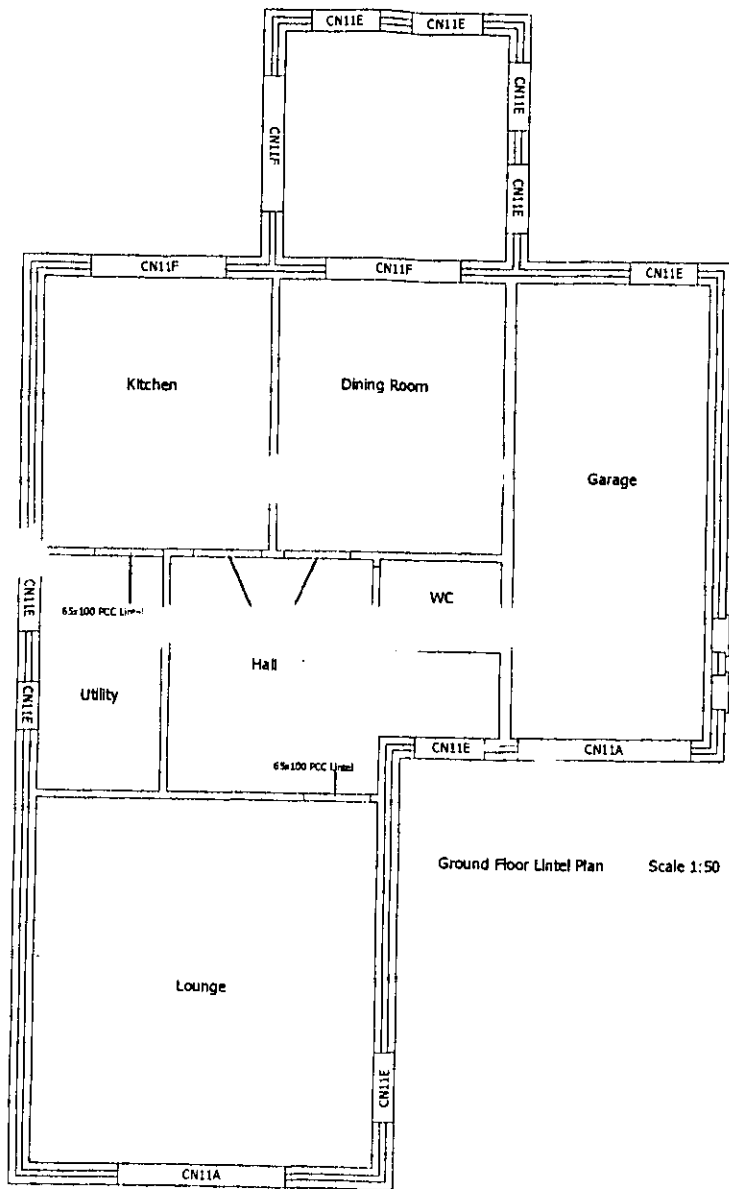
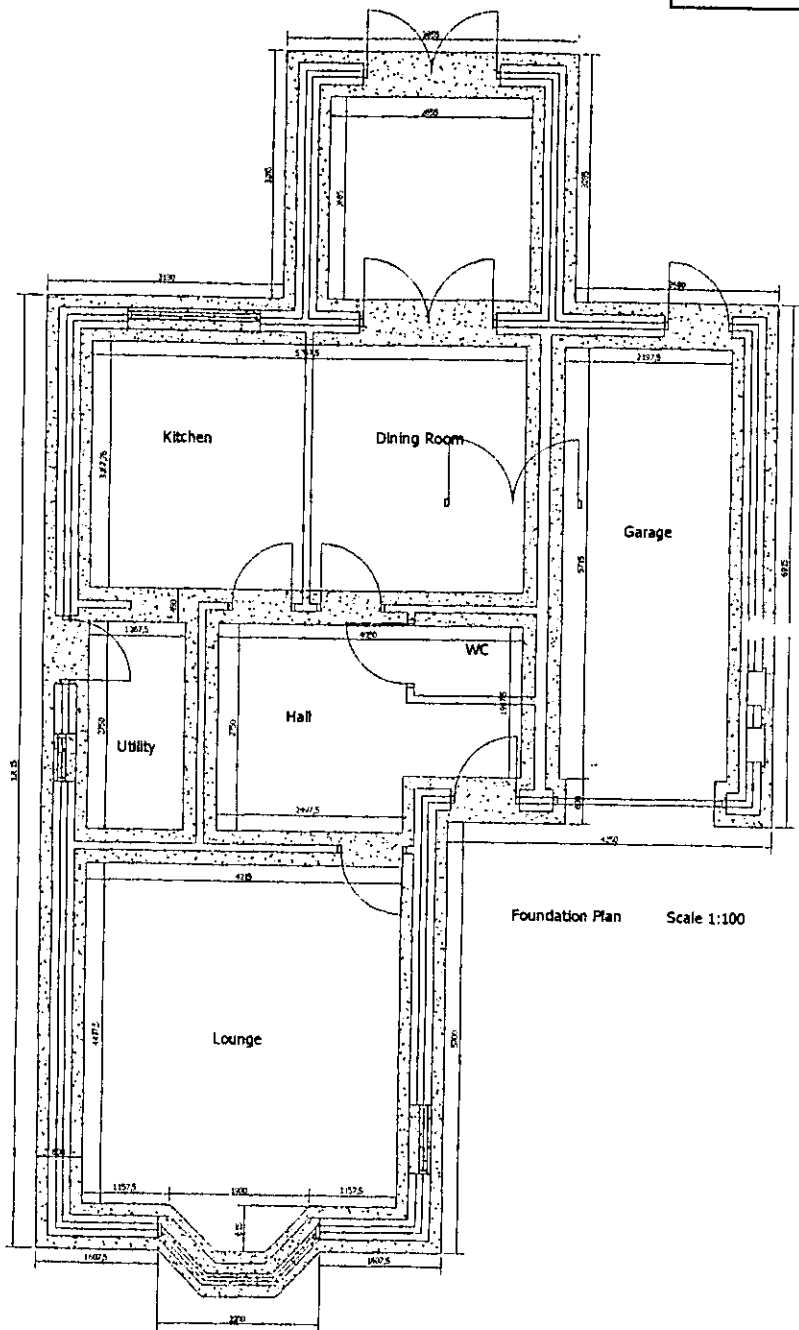
First Floor Joist Plan Scale 1:100

All joists to be 50x220mm sw sc3 at max. 450c/c; braced mid span with sw herringbone strutting as indicated. Double joists under all 1st floor partitions when parallel to joists and under bath. Stairwell timbers to be 75x220mm with incoming joists supported on galv. m.s hangers

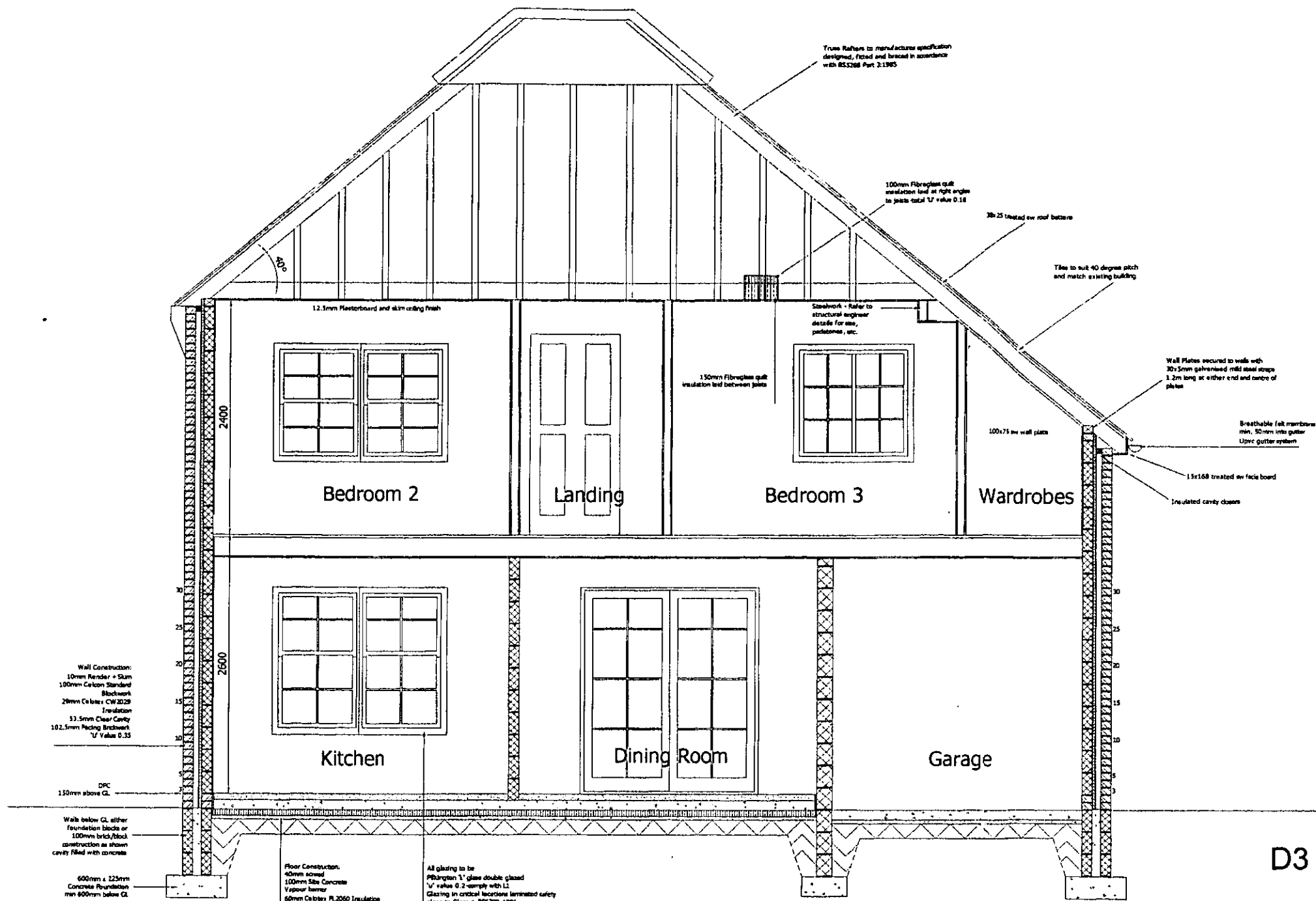
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			Date August 2003	
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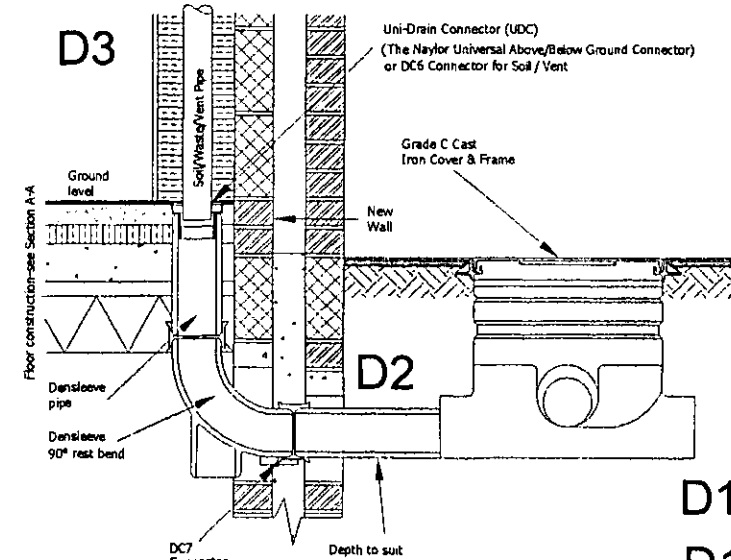
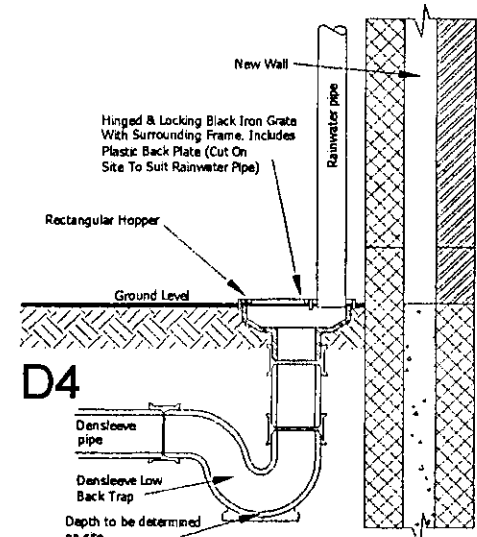
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			Date August 2003		



Section A-A Scale 1:50



Connection Points:
 3 x 100 or 3 x 150 inlets
 1 x 150 outlet
 3 inlets
 Side inlets at 90° to flow and enter the inspection chamber 75mm above main channel.

INLETS & OUTLETS:
 Designed to connect direct to Naylor underground drainage system. Other systems can be connected using adaptors.

ACCESS AND INSPECTION
 DENROD 500 - IC150
 DN100/DN150 INLETS & DN150 OUTLET

DIMENSIONS:
 Internal diameter 500mm
 Overall Depth 1000mm
 (Cover to invert of Main Channel) (Cut to interim depths on site)
 Channel 150mm
 Weight (exc. Cover & Frame) 12kg

TESTING:
 Factory made and tested unit designed to pass BS8301 Test requirements.

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