

DO NOT SCALE

SPECIFICATION & CONSTRUCTION NOTES CONT'D

PLANNING RELATED EXTERNAL FACING MATERIALS AND ASSOCIATED NOTES: -

EXTERNAL WALLS
CAVITY WALLS AS PER SCHEDULE ON DRAWING NUMBER A0002

MORTAR
COMPRISING 1:6 PARTS OPC/SAND. SAND SHALL COMPRISE 2 PART SOFT SAND AND 4 PARTS SHARP SAND INCORPORATING 5mm LIMESTONE/CHALK INCLUSIONS

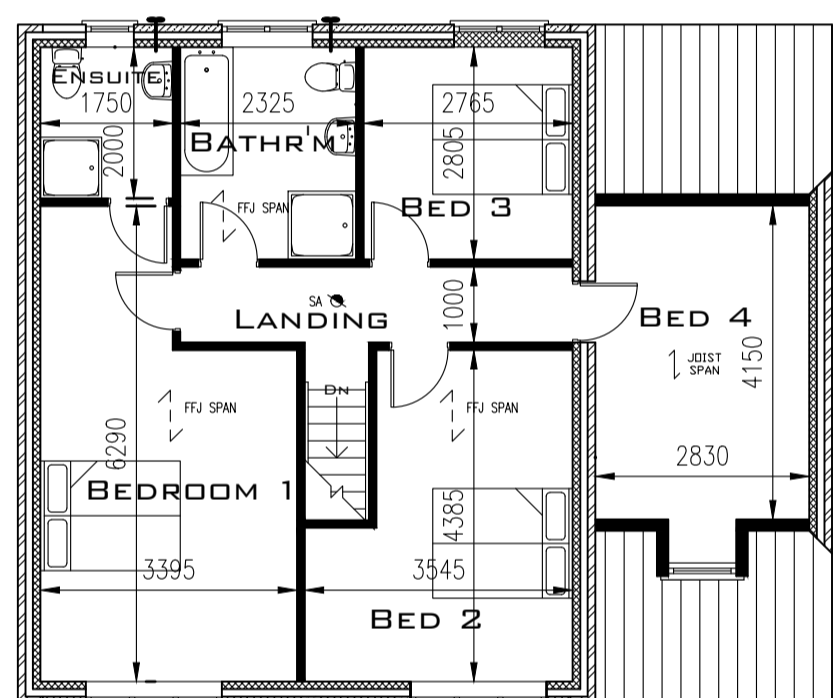
ROOF
PROFILED ROOFING TILES AS PER SCHEDULE ON DRAWING NUMBER A0002

WINDOWS / DOORS
ALL WINDOWS AND DOOR FRAMES TO BE MANUFACTURED FROM A RATED WHITE OR CREAM UPVC WOODGRAIN EFFECT SCULPTURED SLIM LINE PROFILES/FRAMES INCLUDING POLISHED INVISIBLE PLASTIC WELDS AND SLIM BEVELLED PUTTY LINE TO EXTERNAL GLAZING BARS

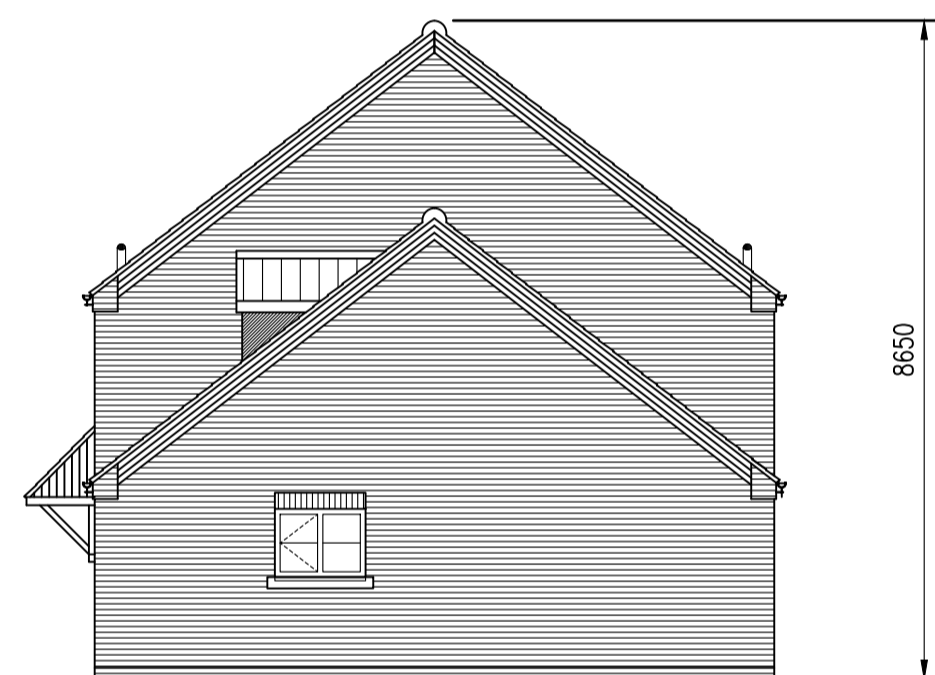
RAINWATER GOODS
BLACK HALF ROUND PVC GUTTER 115mm MIN DIA WITH MATCHING 65mm MIN DIA DOWN PIPES ALL BY OSMIA WAVIN OSA. ALL RAINWATER SHALL BE DIRECTED TO A SURFACE WATER DRAINAGE SYSTEM OR APPROPRIATELY DESIGNED SOAKAWAYS IN ACCORDANCE WITH BRE DIGEST 365

SPECIFICATION & CONSTRUCTION NOTES:

- GENERAL
1. These notes are intended to augment drawings and specifications. Where conflict of requirements exists the order of precedence shall be as shown in the specifications. Otherwise the strictest provision shall govern.
 2. This drawing is to be read in conjunction with all other relevant Engineering and Architectural drawings.
 3. Drawings not to be scaled. All dimensions to be checked on site by the Contractor. Any discrepancies to be notified to the Building Designer and further instructions obtained before work is commenced.
 4. The structure is designed to be self-supporting and stable after the building is fully complete. It is the Contractors sole responsibility to determine the erection procedure and sequence and ensure that the building and its components are safe during erection. This includes the addition of whatever temporary bracing, guys or tie-downs which may be necessary, such material remaining the property of the Contractor upon completion.
 5. This drawing represents a detailed dimensional measurement survey of the physical dimensions of the existing property. This drawing does not and is not intended to express any opinion on the physical, superficial or structural condition of the premises depicted.
 6. This drawing is to be read in conjunction with all other relevant drawings.



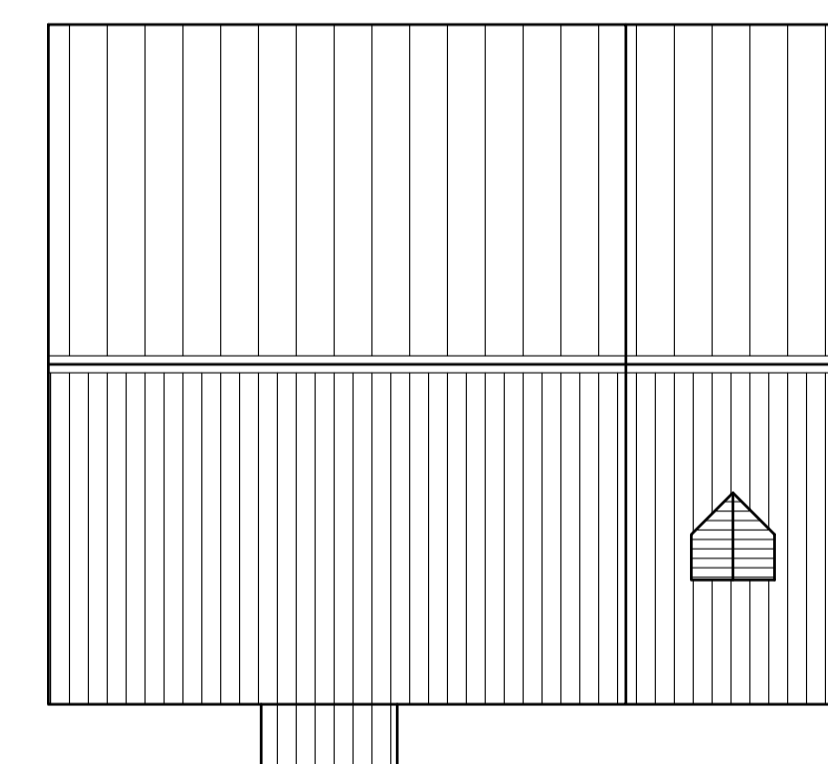
First Floor Plan Scale 1:100



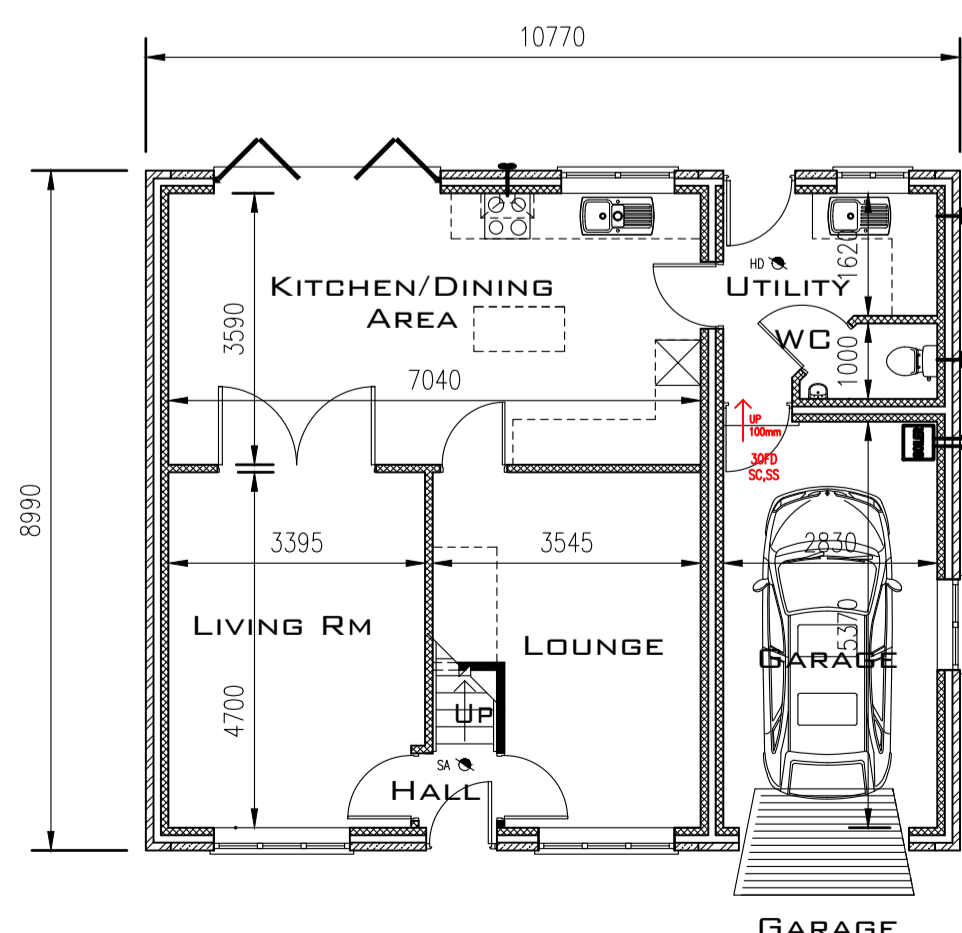
Elevation Scale 1:100



Elevation Scale 1:100



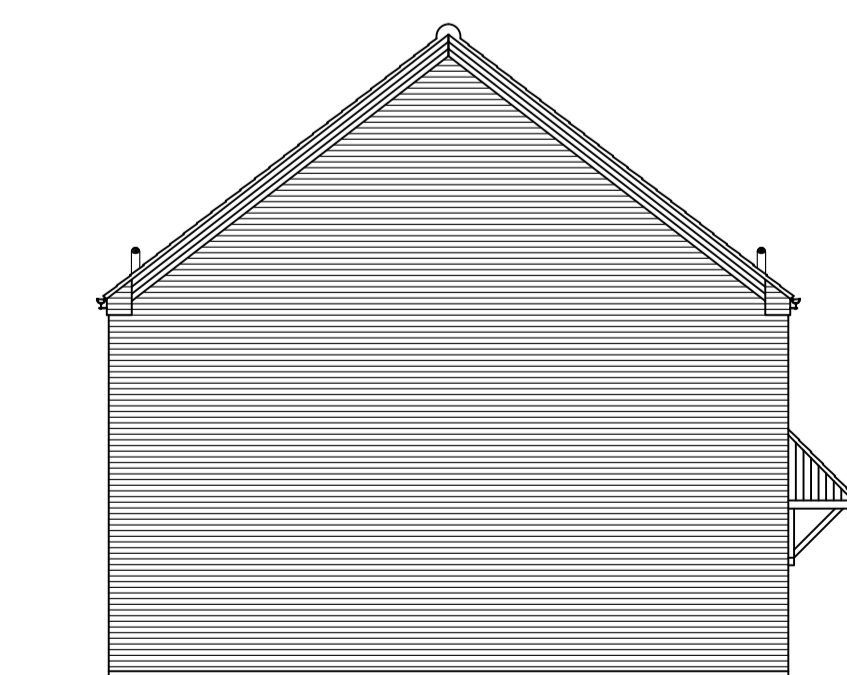
Roof Plan Scale 1:100



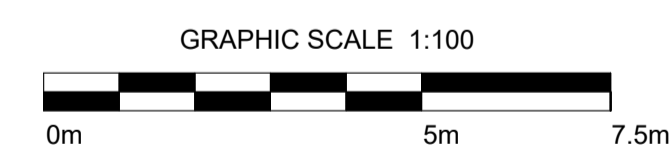
Ground Floor Plan Scale 1:100



Elevation Scale 1:100



Elevation Scale 1:100



REV	DATE	BY	DESCRIPTION	CHK	APP
A	08.03.21	TAS	Garage Integrated to Dwelling	TAS	TAS
0	01.04.19	TAS	Initial Issue	TAS	TAS

DRAWING STATUS: **INITIAL ISSUE**

TAS Building Design

FF2/2A School Court
Wrawby Street
Brigg
North Lincolnshire
DN20 8JW

t: +44(0)1652 659467
f: +44(0)1652 659467
e: tasbuildingdesign@hotmail.co.uk

CLIENT: **JAMES CAVILL PROPERTIES LTD**

PROJECT: **BROOK HOUSE FARM HIBALDSTOW**

TITLE: **PROPOSED DETACHED DWELLING PLOT 10**

SCALE: AS SHOWN @ A1	CHECKED: TAS	APPROVED: TAS
CAD FILE: 14709/Drq/Arch	DESIGN/DRAWN: TAS/ts	DATE: APRIL 2019

PROJECT No: 14709	DRAWING No: A0016	REV: A
--------------------------	--------------------------	---------------

