



Grange Farm, Roxby
HERITAGE ASSESSMENT
with Design and Access Statement
September 2022

Version 2 – FINAL

1. INTRODUCTION

- 1.1** This Heritage Statement has been prepared by Kelly & MacPherson Architects to support a full planning application submitted on behalf of the trustees of the R Elwes Fund of the Elwes Children's 1989 Settlement Trust to North Lincolnshire Council for the conversion of existing farm buildings to 7no. dwellings at Roxby Grange Farm, North Street, Roxby.
- 1.2** Purpose - the purpose of this statement is set out the heritage significance of the site and assess the impact of the proposals on this heritage significance.
- 1.3** Heritage Constraints – the application site has a Historic Environment Record (HER) number 24931. There are three HER listings for archaeological findings/records in the land adjacent to the site: HER no. 2002 Sub-Rectangular Enclosure and Field System; HER no. 21294 Open Field System, Roxby cum Risby Parish and; HER no. 26043 Field Boundaries, South of Roxby Grange. The proposed development for the conversion of the farm buildings will have no direct impact on these 3 assets and therefore no detailed assessment of these assets is included within this statement. If required archaeological reports and/or watching briefs can be included as a condition of any planning approval.
- 1.4** The statement is structured as follows:
- **Section 1:** introduction
 - **Section 2:** site description and photos
 - **Section 3:** historic environment record, historic map progression and building photos
 - **Section 4:** statement of significance
 - **Section 5:** development proposals with design & access considerations
 - **Section 6:** assessment of impact and conclusions
- 1.5** This statement should be read in conjunction with the following application information and drawings:
- Drainage Strategy – by Roy Lobley Associates
Structural Appraisal Report – by Mason Clark Associates
Planning Statement – by Kelly & MacPherson Architects
Application Drawings – by Ettridge Architecture:
- 22 41 101 Existing Plans 1-6
 - 22 41 102 Existing Plans Plots 7-8
 - 22 41 130 Existing Site and OS plans
 - 22 41 151 Existing Elevations Plots 1-6
 - 22 41 152 Existing Elevations Plots 7-8
 - 22 41 500 Proposed & Existing Roof Plans
 - 22 41 1201 Proposed Plans Plots 1-6
 - 22 41 1202 Proposed First Floor Plans Plots 1-6
 - 22 41 1203 Proposed Plans Plots 7&8

22 41 1230A Proposed Site Plan
22 41 1251 Proposed Elevations 1
22 41 1252 Proposed Elevations 2



Fig. 1 – location plan of the site (not to scale)

- 1.6 Scope of Assessment – the assessment considers the immediate and wider physical context of the site, the historical development of the site and setting of the site and the adjacent heritage assets as defined within Historic England’s Good Practice Advice 3: The Setting of Heritage Assets (2nd Edition). In accordance with National Planning Policy Framework (NPPF) July 2021 the level of detail should be proportionate to the assets’ importance and no more than is sufficient to understand the potential impact of the proposal on their significance.
- 1.7 Planning History – there are no previous planning applications recorded on the North Lincolnshire website for this site.
- 1.8 References and Research Methodology - this statement has been produced following a walk over assessment of the site, its setting, and the relevant extents of the settings of the adjacent heritage assets in relation to the development proposals on 14th June 2022. This statement has been set out using Historic England Coursework Guidance undertaken by the author: Understanding & Creating Statements of Significance Sept 2017 and Understanding Setting within the Context of Heritage Assets Oct 2017. Guidance has been taken from Statements of Heritage Significance: Analysing Significance in Heritage Assets - Historic England Advice Note 12 October 2019, The Setting of Heritage Assets. Guidance has also been taken from The Greater Lincolnshire Farmstead Assessment Framework published 15 July 2015 by Historic England.
- 1.9 Photographs – unless otherwise stated, photographs were taken on 14th June 2022 by

the author of this report and remain the copyright of Kelly & MacPherson Architects.

2. SITE DESCRIPTION & SITE PHOTOS

- 2.1** The application site is an almost fully enclosed crew yard located tight to the north side of North Street comprising single and two-storey C19 ranges. The main yard is enclosed by 'C' shaped contiguous ranges with a detached range to the south side and a further spur range extending northwards from the north-west corner. To the north of the main yard is a detached C19 two storey building with lean-to side and rear elements and a C20 detached one and a half storey building, which together form a loose yard to the northern part of the built site – the C20 building lies outside of the application site. Within the south-western corner of the site is a small Anglian Water service building (highlighted in blue on the above fig. 2).
- 2.2** The south boundary of the site is formed by the south elevation of the main yard with a strong line of mature poplar trees to the west end of the yard extending either side of the site entrance. The main yard also forms the southern end of the eastern boundary of the site. The extents of the site then zigzag around the eastern side of the northern yard and run between the two detached buildings to the north end of the site. The boundary to the north-west of the yard buildings is not marked and has a deep drainage ditch within which are growing 5 mature willow trees, which lie outside of the application site boundary. A field access crosses over this ditch and the western site boundary continues without delineation except for several mature deciduous trees.
- 2.3** Access to the site is directly off North Street via a gated entrance. An access track runs to the west side of the buildings and links to two field accesses to the north and west of the site and has two spurs into the main yard and between the north side of the main yard and the detached buildings to the north.
- 2.4** Open fields extend beyond the northern and north-western boundary of the site. To the east is a pair of C19 semi-detached cottages fronting onto North Street with gardens and outbuildings to their west, north and east sides. A detached C19 dwelling, Roxby Grange, is to the west side of the site and is separated from the site by a large garden area bounded by mature trees. To the south side of North Street is an extent of hedging with agricultural fields beyond.
- 2.5** In general, the ranges are predominantly single and one and a half storey of rubble stone construction with brickwork detailing. Roofs are pitched with gabled and hipped ends and mainly of natural clay pantile coverings with part of the main range being of profiled sheeting and the eastern range and northern detached building of natural slate roof covering. Most of the door and window openings are contemporary to the C19 built fabric and are function specific to the previous and original use of the buildings as a horse yard with associated animal stabling, feed and transport storage with some agricultural use. Further details of the ranges and buildings are shown on the subsequent photos and accompanying descriptions.
- 2.6** The buildings are in varying states of repair and a structural appraisal report has been

carried out by Mason Clark Associates. The synopsis findings state that there appears to have been longstanding downward movement to the internal and external walls, as evidenced by the cracking, leaning to walls and general dilapidated condition of some of the buildings forming the farm complex. In the opinion of the structural engineers, the extent of the movement has not affected the overall stability of most of the buildings. However, the condition of buildings 1 and 2 and external stairway to Building 8 are of concern, and they cannot guarantee the short-term stability of these buildings. Various structural defects works are recommended including further surveys, partial demolition repair works and a further structural design check to establish possible extents of underpinning to the existing foundations. The severe reduction of the canopy volume of all vegetation near the buildings is also recommended.

- 2.7** The buildings are vacant and were previously used as a horse yard – it is not known when this used ceased. Given the extents of dilapidation of some of the buildings they may not have been used for several years.
- 2.8** The landscape context is relatively open, undulating agrarian landscape to the south, east and north. North Street, which links westwards to the village of Roxby, is relatively enclosed by mature and semi-mature tree and hedge planting to both sides.

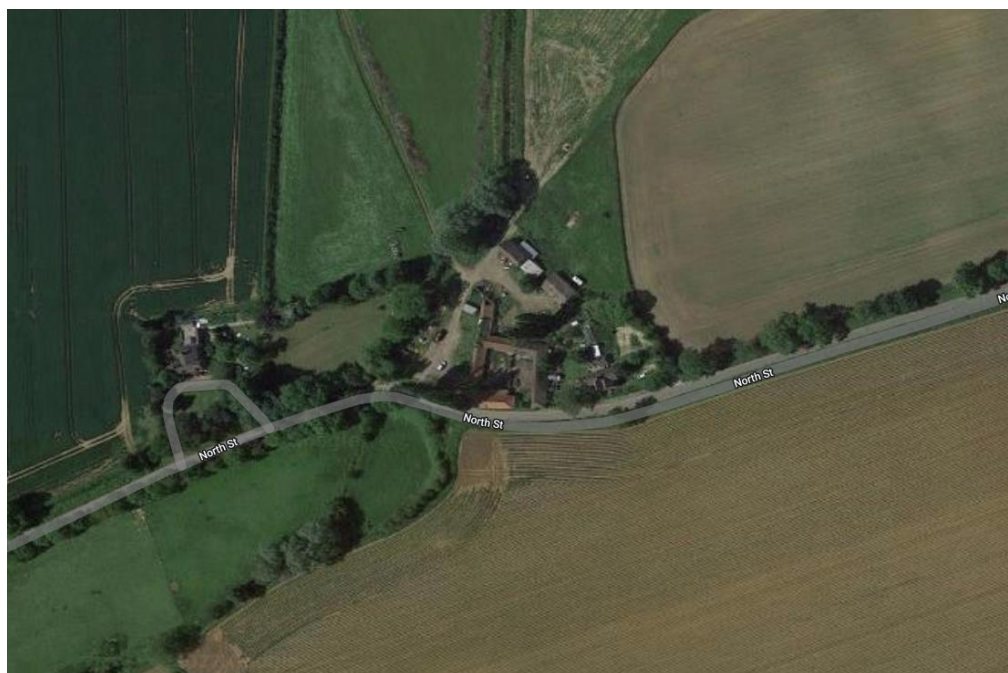


Fig. 2 – Google Earth view of the site showing the rural context



Fig. 3 – the site entrance which lies on the north side of North Street – the line of mature poplar trees to the east side of the entrance are a strong landscape feature of the site and wider setting



Fig. 4 – looking west along North Street – the southern end of the farmstead buildings sits tight to the roadside



Fig. 5 – a view into the site from the entrance off North Street



Fig. 6 – a view looking southwards towards the site entrance from the northern part of the site



Fig. 7 – part of the open and rural landscape to the north of the site beyond a line of mature willow trees which lie just outside the application site along part of the north-western boundary



Fig. 8 – an access on the western side of the site into the adjacent arable fields



Fig. 9 – the northern edge of the site



Fig. 10 – the landscape setting to the north of the site



Fig. 11 – looking east through part of the open northern yard area between the main ‘C’ shaped crew yard and the C20 building to the north of the site



Fig. 12 – part of the north elevation of the main yard buildings



Fig. 13 – the eastern side of the main yard

3. HISTORIC ENVIRONMENT RECORD, HISTORIC MAP PROGRESSION & PHOTOS

3.1 HER - the listing for the farmstead, as accessed from the Heritage Gateway site is as follows:

North Lincolnshire HER



If you think this information is inaccurate please e-mail corrections to [North Lincolnshire HER](#).

HER Number: 24931
Type of record: Building
Name: GRANGE FARM, ROXBY CUM RISBY

Summary

Grange Farm, Roxby cum Risby. Partially extant 19th century unlisted farmstead.

Grid Reference: SE 927 172
Map Sheet: SE91NW
Parish: ROXBY CUM RISBY, NORTH LINCOLNSHIRE
Map: [Show location on Streetmap](#)

Monument Types

- FARMSTEAD (Post Medieval to Modern - 1800 AD to 2050 AD)

Protected Status - None

Associated Finds - None

Associated Events

- Farmstead characterisation for historic Lincolnshire
- Heritage at Risk

Full description

Grange Farm, Roxby cum Risby. Partially extant 19th century unlisted farmstead. Regular courtyard with linked working buildings to all four sides of the yard. The farmhouse is detached from the main working complex. There has been a partial loss (less than 50%) of traditional buildings. Located within or in association to a village. Large modern sheds are located on the site. [1]

Grange Farm was visited and photographed during the Heritage at Risk project, October 2015. [2]

<1> Locus Consulting, 2014, *Lincolnshire Farmstead Mapping*, 608 (TABLE). SLS6966.

<2> Heritage Trust of Lincolnshire, 2014-15, *Untitled Source, Roxby Grange Roxby 1 - 6* (PHOTOGRAPH - DIGITAL). SLS6934.

Sources and further reading

- <1> TABLE: Locus Consulting. 2014. *Lincolnshire Farmstead Mapping*. Excel spreadsheets. 608.
- <2> PHOTOGRAPH - DIGITAL: Heritage Trust of Lincolnshire. 2014-15. 19th November 2014. Roxby Grange Roxby 1 - 6.

Related records – none

3.2 Historic Map Progression

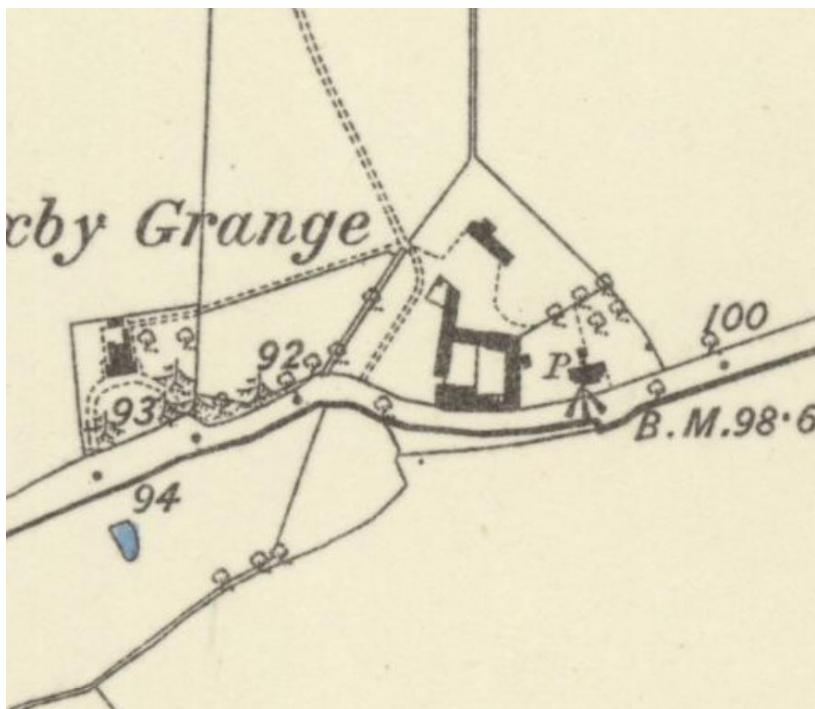


Fig. 14 - Lincs XI.NW 6 inch mapping of 1886 – the mapping shows the main yard, which is almost completely enclosed and sits tight to the road and the detached building to the north. The main enclosed yard has a single division running north-south. The site access and track running through the western part of the site is as the current track. The surrounding context of the Grange to the west and a pair of semi-detached buildings to the east appears similar to the present-day layout.

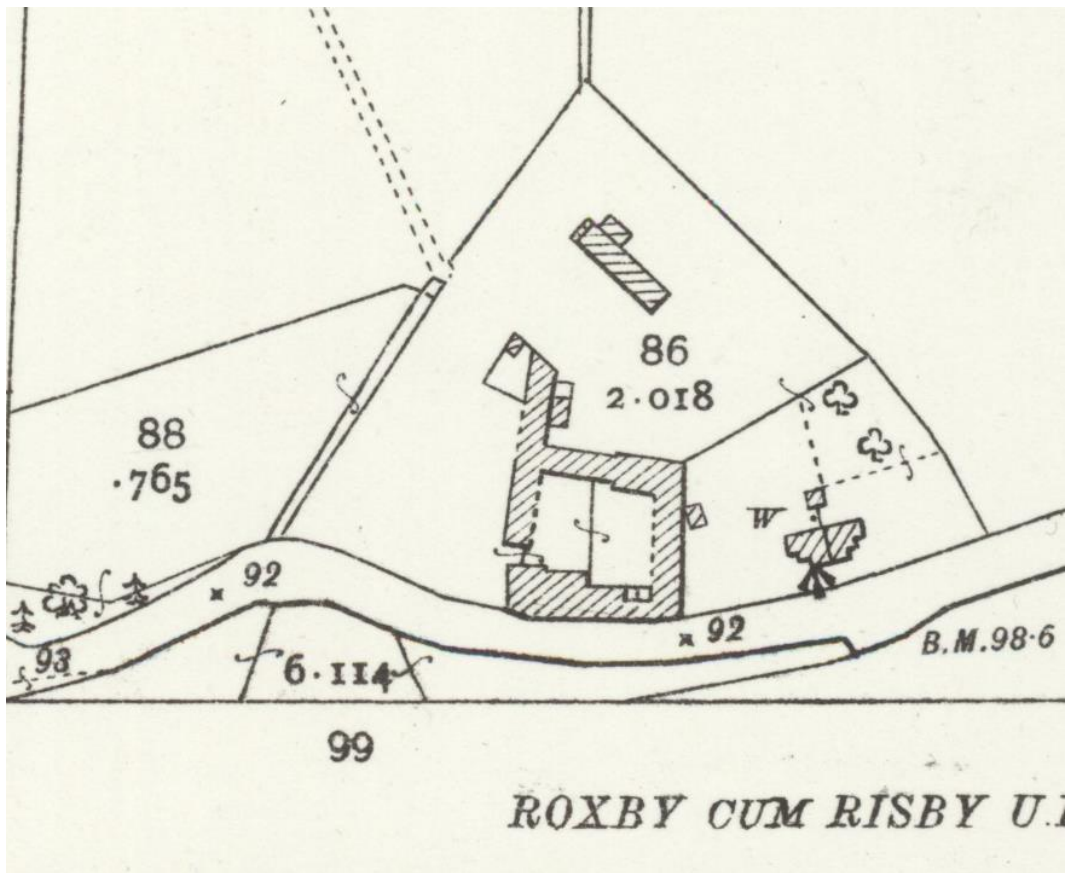


Fig. 15 - Lincs XI.1 25 inch mapping of 1906 – showing a similar picture to the previous mapping – a small fold yard is indicated to the north-western tip of the main yard.



Fig. 16 – the Lincs XI.NW mapping of 1948 shows a pared down version of the previous mapping in common with the mapping of this date – the general site arrangement and context is as the previous mapping

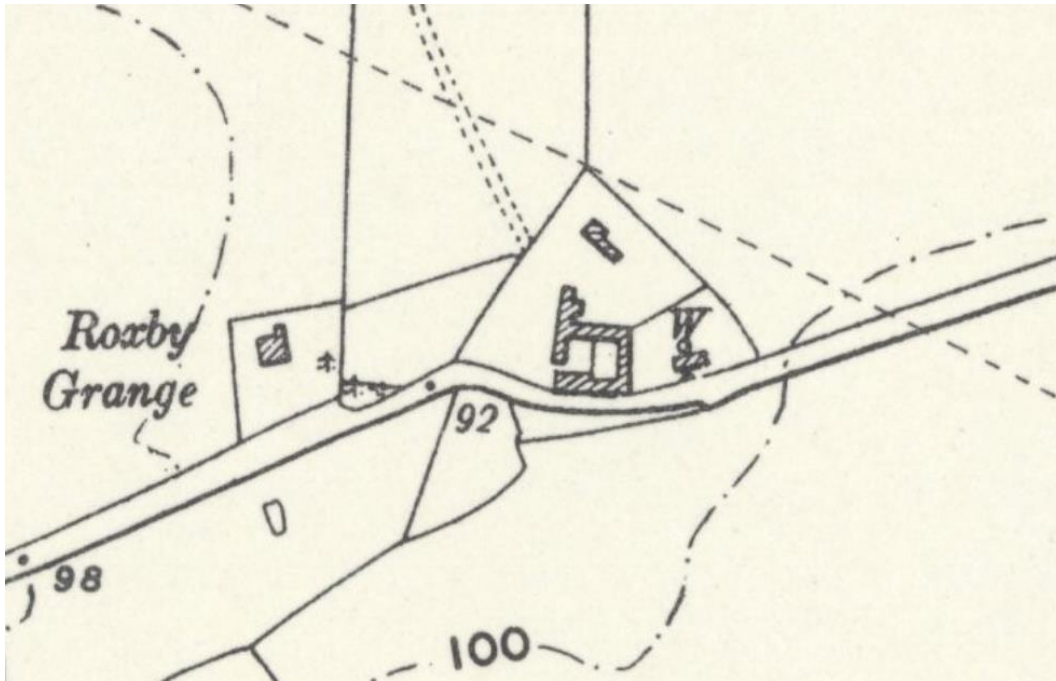


Fig. 17 – the Lincs SE91NW-A mapping of 1956 is almost identical to the mapping of 1948

3.1 **Building Photos** – the building numbers relate to the numbers indicated on the site plan below and used in the structural appraisal report:



Fig. 18 – existing site plan showing the yard and building layout and building references



Fig. 19 – Building 1 – west elevation



Fig. 20 – Building 1 – east elevation – this building is a mixture of stone, brickwork and modern blockwork wall construction with a hipped pantiled roof on a traditional exposed timber roof construction – partial demolition of this side is recommended within the structural appraisal



Fig. 21 – Building 1 - the internal southern end – the floor to this building is partially concrete construction



Fig. 22 – Building 1 – interior view looking north



Fig. 23 – Building 1 – a blockwork column to the eastern side



Fig. 24 – Building 2 – west elevation – this building may have been subject to a previous fire – large parts of the roof covering are missing, roof timbers are deformed and there is vegetation growth affecting the built fabric



Fig. 25 – Building 2 – northern end, which has an angled plan – walls are rubble stone with brickwork quoins to the external corners



Fig. 26 – Building 2 – eastern elevation – careful demolition and rebuilding of this structure is recommended in the structural appraisal



Fig. 27 – Building 3 – south elevation – this is a 2-storey building of stone and brickwork construction under a pantiled covered timber roof with a timber first floor construction



Fig. 28 – Building 3 - part of the south elevation with the arched door openings onto the main enclosed yard and showing a blocked door opening and a boarded first floor window



Fig. 29 – Building 3 – north elevation, which has a substantial timber boarded door opening and an arched headed door opening and ground floor windows opening to the western end

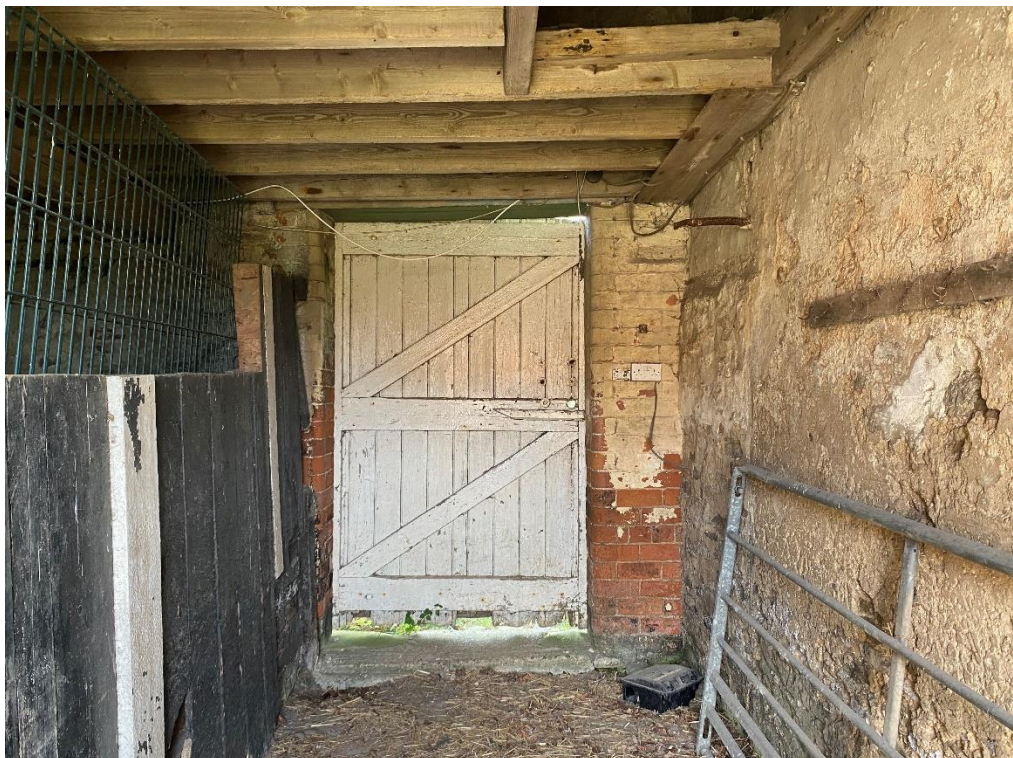


Fig. 30 – Building 3 - a small section of the ground floor is cobbled and the remainder of poor-quality concrete



Fig. 31 – Building 3 - renewal of the first-floor construction is recommended in the structural appraisal – this building is sub-divided into 3 bays with a further timber division shown in fig. 30 above – there is a brick-built feeding trough in the easterly bay



Fig. 32 – Building 4 – south elevation showing the profiled sheet roof covering, rooflights and brick detailing to the door and window openings



Fig. 33 – Building 4 - a timber window to the south elevation, which sits under the roof overhang of the adjoining building 5.



Fig. 34 – Building 4 - much of the north elevation is obscured by vegetation



Fig. 35 – Building 4 – part of the eastern end bay – this building comprises a larger main bay accessed to the south off the main yard with an internal door to the end bay shown above



Fig. 36 – Building 4 - the main bay which has a king post timber roof construction and timber stall risers



Fig. 37 – Building 5 – west elevation, the northern extents are four open bays with cast iron columns (the fifth northern bay is enclosed with a timber panel wall) – the southern end is a single enclosed bay with stone walls



Fig. 38 – Building 5 - the northern end of the west elevation



Fig. 39 – Building 5 – the southern end which sits tight to North Street – the roof has a hipped end with a natural slate roof covering



Fig. 40 – Building 5 - the southern bay has a boarded up window opening on its south elevation. The floor has a dished profiled cobbled floor. The roof has a hipped king post roof construction. There is a brick built feeding trough to the internal west side.



Fig. 41 – Building 5 - the doorway connecting the enclosed end bay to the open bays



Fig. 42 – Building 5 – the doorway shown in the previous image as seen from within the open bays



Fig. 43 – Building 5 - the northern bay which is enclosed by timber panels – there is a wooden and brick-built feeding trough along the internal east wall. The roof is supported by King post timber trusses on the lines of the exposed cast iron columns



Fig. 44 – Building 6 – western end north elevation – this building comprises one main building of 5-bay construction with two smaller bays housed within the cat-slide roofed extents



Fig. 45 – Building 6 – seen from within the main yard



Fig. 46 – Building 6 – part of the south side showing a door opening onto North Street



Fig. 47 – Building 6 – the main eastern building which has a timber trussed roof construction with a rough cast concrete floor and stone walls



Fig. 48 – Building 6 – north elevation of the western element



Fig. 49 – Building 6 - the west side which has a first-floor loading door and a timber boarded sliding door - the roadside poplar trees are very close to the south-western corner of this building



Fig. 50 – Building 6 - the south elevation of the western element – internal access to this building was not possible



Fig. 51 – Building 7 – south elevation showing a 3 bay layout with arched head cart shed openings and corresponding first floor openings. The roof is slate covered. There is a lean-to side element to the east.



Fig. 52 – Building 7 – showing the west and north sides – there is an open lean-to timber construction to the north side and an external stair to the west side



Fig. 53 – Building 7 – the north side - the roof has a natural slate covering



Fig. 54 – Building 7 - the external stair, which is recommended for demolition due to its structural instability



Fig. 55 – Building 7 - part of the lean-to element showing evidence of phasing to an opening



Fig. 56 – Building 8 – as seen from the north



Fig. 57 – Building 8 – the south side of this open shed, which has a prefabricated concrete framed construction – this building does not form part of the application development proposals



Fig. 58 – Building 8

4 STATEMENT OF SIGNIFICANCE

- 4.1 As defined within the National Planning Policy Framework (NPPF) 2021, Significance is defined as ‘the value of a heritage asset to this and future generations because of its heritage interest. The interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset’s physical presence, but also from its setting.’
- 4.2 The setting of a heritage asset as defined within the National Planning Policy Framework (NPPF) Glossary is the surroundings in which a heritage asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral.
- 4.3 The NPPF also states that in determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets’ importance and no more than is sufficient to understand the potential impact of the proposal on their significance.
- 4.4 The significance of Roxby Grange farm lies chiefly in its extant layout and built fabric and its survival as a good example of a large planned C19 Lincolnshire farmstead. Narrative significance can be drawn from the layout and design of the buildings in relation to former farming and stabling practices and the superseding of many of these methods in the late C20. The dilapidation of some of the buildings and lack of maintenance detracts from the aesthetic significance of the buildings.

5 DEVELOPMENT PROPOSALS WITH DESIGN & ACCESS CONSIDERATIONS

- 5.1 General – the development proposal is for the conversion, rebuilding and repair of the existing buildings and yard to create 7no. new dwellings with associated parking, access, landscape and amenity spaces. The subsequent drawings form part of the application documents and were produced by Ettridge Architecture.



Fig. 59 – site layout plan



Fig. 60 – ground floor plans for the conversion and rebuilding for the main yard to 6 dwellings



Fig. 61 – the ground floor layout for the conversion of Building B7 (noted as B8 on this drawing) to a single dwelling



Fig. 62 – proposed elevations for the conversion and rebuilding of the main yard buildings

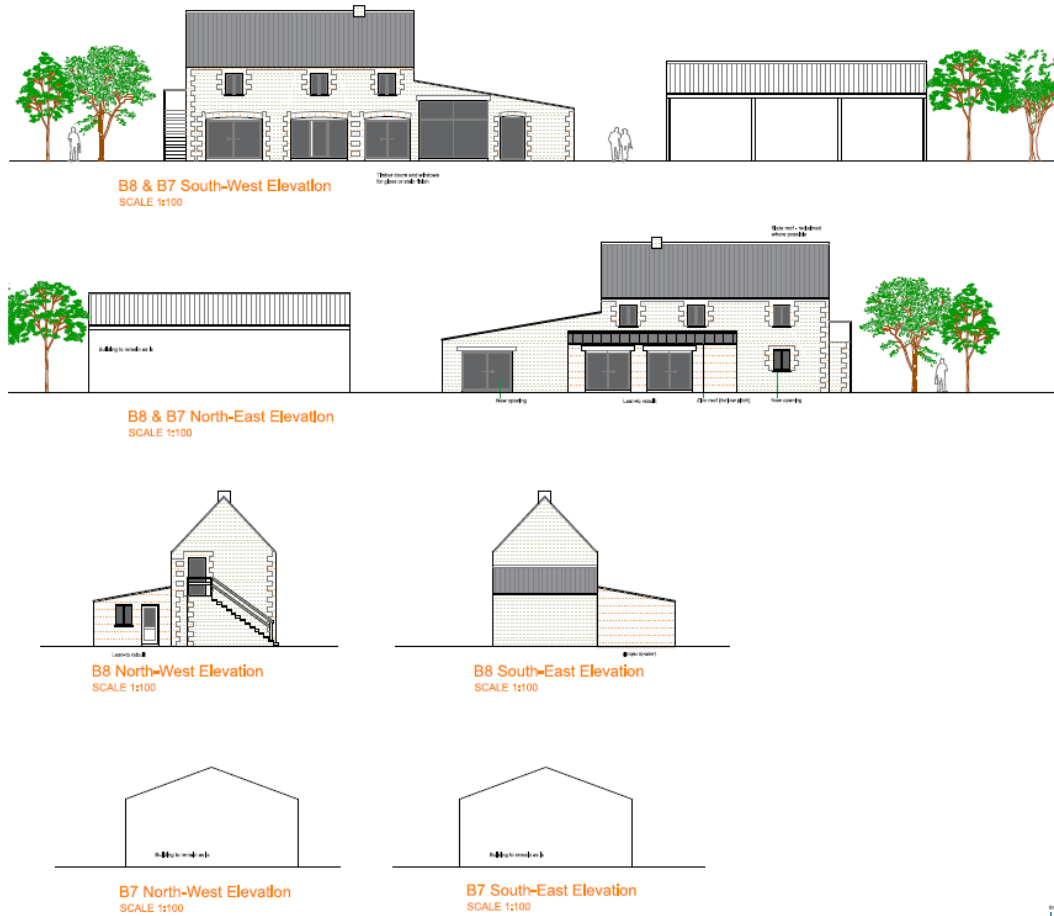


Fig. 63 – proposed elevations for the conversion of Building 7

- 5.2 Options for Change – the site is located at the edge of the settlement of Roxby and it lends itself to high quality residential conversion. Some of the buildings enclosing the former yards are in a poor structural condition, and other elements are likely to be beyond economic repair. There is potential for sensitive redevelopment of the former stables, cart sheds and crew yards to retain the historic plan of the rural buildings without the need for substantial extensions or alterations. Materials already on site could be re-used for the re-built buildings.
- 5.3 Farm Complex – the existing routeways and sightlines between buildings, yards and the surrounding spaces have been retained. The relationship between the individual buildings and their legibility is retained. Some alterations to the existing walls within the main yard are proposed to suit the division of the buildings to individual dwellings with private external spaces.
- 5.4 Layout – the main geometry, density and orientation of the layout of the traditional buildings is unchanged. Generally, the use of the structural form and features of the traditional buildings has been used as a guide for the proposed alterations.
- 5.5 Aspect and Openings – in general, existing openings and internal layouts have been retained. Four new openings are proposed to the north elevation of B4, and this is the main change to the existing elevational treatment of the buildings - 1no. new opening is proposed to the north elevation of B2, 1no. new opening to the south elevation of B6 and 1no. new opening to the north elevation of B3. The proportion and design of the new openings generally express a functional role in keeping with the working character of the farmstead and are of matching proportion and detailing to adjacent openings. The rebuilt elements of B1 and B2 maintain the aspect, pattern, functionality and dimensions of the former openings. No extensions are proposed within the overall development. 30no. new rooflights are proposed to the existing roof pitches – the design rationale for these appears to be functional for natural light rather than limiting rooflights to the more key or publicly visible elevations.
- 5.6 Proportion and Form - the number of new openings has been limited to one per constructional bay where possible. The internal spaces in general relate to the existing pattern of bays, however there are several new internal partition walls proposed to create the desired internal layouts for each dwelling. The main change to the massing of the buildings is the increase of roof pitch to B3 by 300mm to ensure the stair access and habitable first floor spaces have adequate head heights.
- 5.7 Materials, Features and Construction – new materials, features and construction replicates the existing palette. Retention of existing features such as feeding troughs etc. has not been considered. Repairs to the built fabric have generally been set out within the structural appraisal with similar materials and techniques.
- 5.8 Survival and Significance – the key significance of the heritage asset is retained. Its scale, form and massing remain unchanged.
- 5.9 Options for Using New or Existing Access – the existing access point from North Street is retained with the main route north-south through the site and two spurs accessing the main yard and further yard to the north being retained.
- 5.10 Landscape Setting and Character – the broader landscape character would not be harmed by the proposed development. No large or visually intrusive landscape elements such as tall close boarded fences are proposed. Native species, of local provenance appropriate to the local area can be specified for the new tree planting within the development. The removal of one of the poplar trees along the roadside will not significantly impact the contribution of these tall, mature

trees to the wider landscape context. Removal of the existing brickwork walls within the main yard and the erection of large extents of 900mm high brickwork walling within the yard and to the outer perimeters will have some impact on the aesthetic of the site and its historic layout.

6 HERITAGE IMPACT AND CONCLUSIONS

- 6.1 Heritage Significance - the yard includes both a regular and loose courtyard layout comprising stone and brick-built structures under pantiled and slate covered roofs, which retain much of their original layout, fabric and design including door and window openings and detailing. The buildings have good aesthetic significance. The site also has good local narrative significance reflecting changing farming methods in rural Lincolnshire during the C19 and C20. The dilapidation of some of the buildings and lack of maintenance detracts from the aesthetic significance of the buildings.
- 6.2 The edge of settlement site lends itself to high quality residential conversion. Some of the buildings enclosing the former yards are in a poor structural condition, and other elements are likely to be beyond economic repair. There is potential for sensitive redevelopment of the former stables, cart sheds and crew yards to retain the historic plan of the rural buildings without the need for substantial extensions or alterations. Materials already on site could be re-used for the re-built buildings.
- 6.3 Heritage Impact – the development proposals would have some positive impact on the identified heritage significance of Roxby Grange Farm through the retention, repair and rebuilding of the extant built fabric and the retention of the overall layout and design of the yard without any need for extensions or significant alterations. The insertion of 4 new openings to the north elevation of B4, the raising of the roof to B3 by 300mm, the insertion of 30 no. new rooflights, the removal of the existing yard walls, the erection of new brickwork boundary walls around and between the plots and the removal of internal features such as feeding troughs will have some combined level of negative impact on the heritage asset though the combined level of harm would not be significant.
- 6.4 Any harm to the key heritage significance of the yard would be balanced against the public benefits of the scheme, which would be development of the yard in a sustainable and optimal viable way that can be experienced by future generations.