



Supporting Statement

Works	Proposed Change of Use of a Garden Room to Run a Business
Site Address	22 Fairfield Road Scunthorpe DN15 8DQ
Client	Mr Midgley
Reference	1614FFSC
Date	October 2022

Supporting Statement

- 2nd October 2022 Planning Issue
A 2nd January 2023 *Additional Information*

1614FFSC – Proposed Change of Use of a Garden Room to Run a Business
at 22 Fairfield Road, Scunthorpe.

Assessment

This Supporting Statement has been prepared by **keystonearchitecture** on behalf of the applicant, Mr & Mrs Midgley, to accompany a Planning Application for the Change of Use of a Garden Room to Run a Business at 22 Fairfield Road, Scunthorpe, North Lincolnshire.

This Statement provides information and evidence relating to the operations at the property, justifying the application to allow the Applicants to work from home.

The Business:

Mr & Mrs Midgley are owners of Scunthorpe Seamless Gutters Ltd, which was incorporated in February 2019, but operated 18 months previous as a sole trader. The company offers on site seamless guttering services, folding and installing 90% recycled aluminium gutters on site at your property, including domestic and commercial buildings. The company also offer gutter cleaning services.

Mr & Mrs Midgley are also the Applicants. There are two other local employees of the business, who work independently or alongside Mr Midgley, with the creation and installation of the guttering system. They attend the property together, once-a-day to collect the other van, before leaving for their work.

The company is unique to the area, and is considered the only residential seamless guttering company within a 40 miles radius, offering North Lincolnshire a bespoke and unrivalled service.

At only 4 years old, and in the current climate, the company only require a base for their registered address and administrative work. As all manufacturing and installation works are undertaken on site, away from 22 Fairfield Road, there are no activities associated with the folding of the gutters that takes place at the Application site.

There are very limited materials and tools required for the operations of the business, and anything that is not kept in the vans, is stored within the domestic Garage of the property.

The folding of the gutters takes place by feeding a ream of aluminium into a machine located within the back of the company's vans, similar to the image below:



The aluminium is pressed and rolled into the required profile, at the required length, before being cut and having the ends or corners installed, ready for fitting.

Planning History:

A previous Planning Application, PA/2022/824, for the Change of Use of the Garden Room to run a business, was refused on the following grounds:

1. The proposal would result in comings and goings, over and above that which would reasonably be expected of a residential dwelling resulting in a detriment to the residential amenity of surrounding occupiers by virtue of noise and disturbance. It is therefore considered that the proposal is contrary to saved policies IN3 and DS1 of the Local Plan and Part 12 of the NPPF which require development to be compatible with surrounding uses.
2. It is considered that the proposal would lead to an unacceptable increase in traffic movements and parking that would be out of keeping with and thereby cause significant harm to the character of the residential nature of the area and highway safety through displacement of vehicles onto the highway. It is therefore considered that the proposal is contrary to saved policies DS1 and T19 of the Local Plan and Part 9 of the NPPF which require development to provide adequate parking and protect visual amenity.

No supporting evidence was provided in support of the Application, and an objection from one neighbour outlined some grievances and offered a view of activities.

There were no objections to the proposal from within the Local Authority, with Highways being key, offering no objection. Environmental Protection did suggest operational hour restrictions, which are not objectionable.

The key reasons behind the refusal are taken as the proposal being contrary to Local Plan Policies IN3, DS1 and T19, and the NPPF Part 12.

NPPF Part 12 relates to Achieving Well-Designed Places, and namely refers to well-designed development and design quality, which is not considered relevant for this Application.

Relevant Policies:

Below are considered the relevant Policies from the North Lincolnshire Council Local Plan 2003.

Policy IN3 – Industrial and Commercial Development in the Urban Area, states:

“i) the development should respect its position and setting within the landscape and be compatible with existing and proposed surrounding uses, in particular adjoining residential areas. Consideration will be given to the use of other measures such as sound insulation, pollution control and restricted hours of working to minimise potential amenity problems, with the use of conditions and legally binding agreements as necessary; and

iii) outside storage areas which are open to public view from beyond the site should be screened. Open storage and handling of loose materials and refuse will not be permitted. Enclosed roofed storage areas will be required to store such materials”

The Change of Use of the Garden Room to run a business, has limited links with Policy IN3. The running of this business from the property, where the main operations are administrative, does not impact on the surrounding residential area.

Conditions should be considered if there are concerns over working or delivery hours, or restricting employees (other than those living at the property) from working at, or from, the Application site.

The limited number of small materials and tools associated with the business, are stored either in the company vans or within the Garage on the Application site, away from public view.

Policy DS1 – General Requirements, states:

“Amenity

iii) No unacceptable loss of amenity to neighbouring land uses should result in terms of noise, smell, fumes, dust or other nuisance, or through the effects of overlooking or overshadowing”

The proposals are for the use of an existing Garden Room, as a place to run a business from. It is not considered that the Applicant’s administrative operations from the Garden Room, would cause any undue impact on neighbouring properties.

There is no development required that would impact on amenity, and the impact of Mr Midgley leaving for, and returning from, his places of work, is no different than any other self-employed tradesperson.

Planning Policy DS4 – Changes of Use in Residential Areas, states

“Within residential areas, favourable consideration will be given to proposals for a change of use from residential to other uses, provided that the development will not adversely affect the appearance and character of a residential area or residential amenity by virtue of noise, vibration, traffic generation, reduction in road safety, odorous emissions (by way of dust, smell, fumes, smoke, soot, ash or grit) or other adverse environmental conditions.”

Similar to Policy DS1, the proposals do not involve any physical development that would affect the appearance or character of the area, and there are no operations from the premise that are considered to impact on residential amenity through generating undue noise, dust or smells. Running a business from home, where the main business operates away from the premise, at other people’s houses, will not create adverse conditions at the Application site.

Traffic movements are the only consideration when it comes to potential impact of this business operating from this address. Below are the anticipated vehicle movements related to the business, which are considered domestic in scale and nature, and could easily be attributed to any other property in the locality, having visitors, and is common now, regular deliveries.

Cars	1 per day
3.5t Panel Vans	2 per day
LGV Delivery	1 per month (delivering the aluminium reams)

Policy T19 – Car Parking Provision and Standards, states:

“Provision will be made for car parking where it would:

- i) meet the operational needs of businesses; or*
- ii) be essential to the viability of a new development; or*
- iii) improve the environment or safety of streets; or iv) meet the needs of people with disabilities; or*
- v) be needed by visitors to the countryside;”*

The running of the business subject to this Planning Application, relates to the use of the existing Garden Room, to operate the effective management of a company that works away from the Application site.

The comings and goings to vehicles at the property, relate only to those of the Applicants, whose house it is. There cannot be a limit on the number of times you can leave and return to your property in any one day, nor, within acceptable limits of Highway safety, how many vehicles you have on your grounds.

Mr & Mrs Midgley have one personal car, and two panel vans, considered domestic in scale as they can be driven on a standard car licence. All of the vehicles are safely parked off the Highway. The vehicle movements provide previously are considered domestic in movement terms, no different from having visitors or regular deliveries, which cannot be controlled under Planning law.

The NPPF encourages the delivery of sustainable development, by building a strong, competitive economy – Part 6 of the NPPF states:

“81. Planning policies and decisions should help create the conditions in which businesses can invest, expand and adapt. Significant weight should be placed on the need to support economic growth and productivity, taking into account both local business needs and wider opportunities for development. The approach taken should allow each area to build on its strengths, counter any weaknesses and address the challenges of the future.

82. Planning policies should:

d) be flexible enough to accommodate needs not anticipated in the plan, allow for new and flexible working practices (such as live-work accommodation), and to enable a rapid response to changes in economic circumstances.”

Allowing businesses to operate from residential premises where they do not have a negative impact on the residential amenity, should be actively encouraged for the prosperity of the local economy.

Forcing small businesses into commercial premises, where rent, rates and increasingly energy costs, can be cost prohibitive, threatens to ruin local businesses, which are the heart of the economy, investment and stifles entrepreneurship.

It is clear from this Assessment that the operations of the company in question, are limited at 22 Fairfield Road. The business activities operate around the County and only administrative works shall take place at the Application site.

There shall be no negative impact on the neighbouring properties by way of disturbance or loss of amenity through overshadowing etc. and the typical daily movement of vehicles is considered minor and domestic in scale and vehicle type, no different to many other properties.

The three vehicles owned by the Applicants are again considered domestic in scale, and it is not uncommon for homeowners to have 3 vehicles.

It is considered that the proposal for the Change of Use of the Garden Room to run a business not only satisfies the relevant Local Plan policies identified, but is a leader in encouraging sustainable, flexible working practices in this challenging economy, and the support of the Local Authority, by way of Approving this Application, shows positive approaches to adapting where necessary, in line with the NPPF statements.

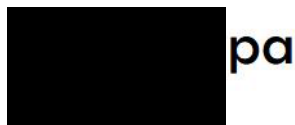
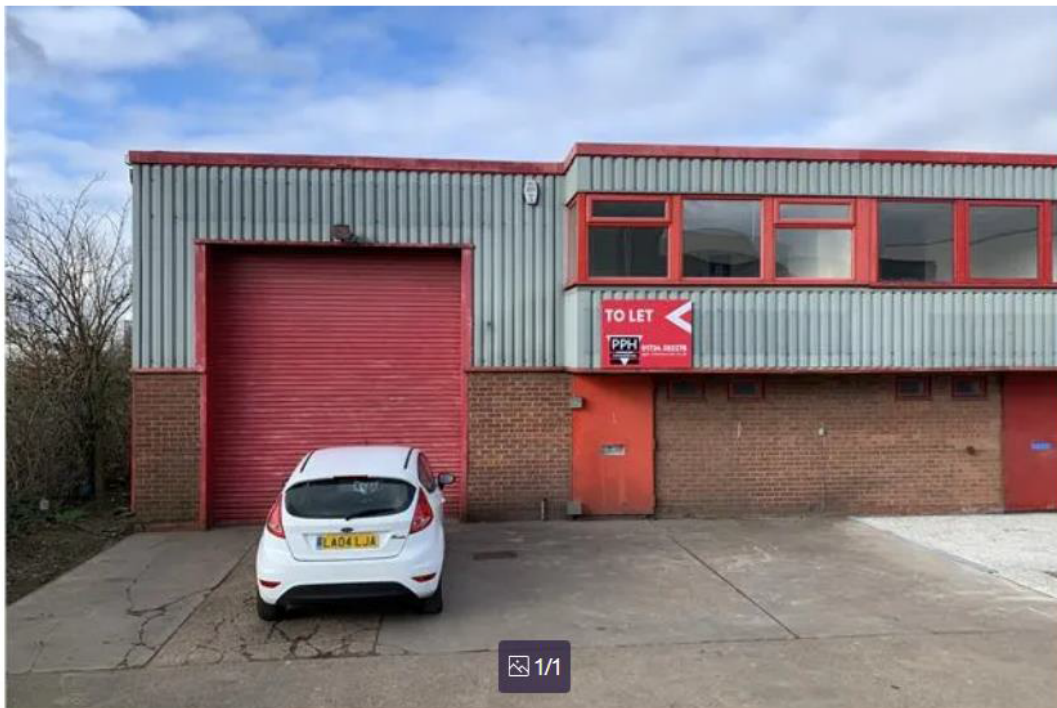
Additional Information:

Further to conversations with the Planning Officer, additional information was requested to justify why the Change of Use was necessary.

The business is considered only one step up from a sole trading practice, operating from the home address, similar to a self-employed joiner or plumber. Consideration however, shall be given to the alternative option of operating the business from a commercial premise, for comparison.

The closest available small commercial unit available to rent at the time of writing, is over 1 mile North of the site off Park Farm Road, and is available for [REDACTED] per annum, including VAT.

← [See similar properties](#)



Industrial to let

📍 Mercia Way, Park Farm Road, Foxhills Industrial Estate, Scunthorpe, North Lincolnshire DN15

📏 1,911 sq. ft

This unit would also attract business rates, and incur costs for gas, electric, water and sewerage, plus any telephone lines and other running costs, including insurance.

The likely costs could total around [REDACTED] per year.

As mentioned previously in this statement, the level of operations of the business, do not require a separate commercial unit. The tools used for the business are small hand tools, stored in the vans or private garage. The amount of material used is minimal and is always stored in the van. This consists only of a roll of aluminium sheet, ready for profiling.

There are also security concerns of storing materials, vans and tools on an industrial estate, where burglaries can be common. Keeping materials at or close to the home address improves security.

The costs associated with renting a commercial unit are simply unviable for the business – incurring up to an additional £20,000 per year would leave the business out of pocket to the extent that it would have to cease trading, or the one employee may be made redundant so as the Change of Use would not be necessary.

The activities associated with this Change of Use do not impact or affect the neighbouring properties above and beyond the normal operations of a domestic house, with comings and goings of visitors and deliveries – the operations are no different to a self-employed person or couple, based at home.

The costs to prevent the business operating from the home address are prohibitive, and the requirements for a commercial address are totally unnecessary, and unviable.

By way of additional summary, Policy DS4 clearly approves of operating businesses from home addresses where there is no adverse effect on the appearance and character of a residential area. There is no information or objection provided that would suggest this proposal would cause such impact.

The NPPF encourages live-work scenarios especially where costs prohibit separate commercial storage or accommodation.

The viability of the business operating from a commercial unit is clear from this additional information. Preventing the business operating from the Applicants home address will negatively impact on the future of this small business.

Highways have no objections to the proposal, Environmental Health have no objections, and the proposals satisfies the relevant Local Plan policies identified.