

# **North Lincolnshire Council**

## **Design and Access Statement**

For

### **Extended Provisions**

**St Luke's School**

Planning Application ref PP-13096691

Project Reference 14406

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## **Epworth Leisure Centre and Community Hub**

### **Design and Access Statement**

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## 2. Client

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## 3. Client Advisor

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## 4. Introduction

St Luke's Primary School is a day special school for primary aged children with Special Educational Needs and Disabilities, which serves the North Lincolnshire Local Authority which presently accommodates 189 children on role. St Luke's is a purpose-built special school. The school benefits from many facilities that supports children's learning. We have a Hydrotherapy Pool, a Light and Sound Room, a Sensory Differences Room, a Teaching Kitchen as well as PE and Dining Halls.

Our outside areas have undergone considerable transformation in recent years. The school has an accessible adventure playground, a sensory garden, a cycle trail, a stage and outdoor exercise equipment.

## **5. Scheme Proposal**

This year, the school's aim is to increase teaching and administration facilities, as well as improving the outdoor environment by developing part of the existing playing field into a new playground area and outdoor learning space and this is due to the schedule increase of children attending the school.

## **6. Objective:**

1. To provide extended teaching facilities to accommodate the increasing number of children.
2. To provide extended office and administration facilities to accommodate the increasing number of staff numbers.
3. To provide extended parking facilities for the increase of staff numbers.
4. To provide adequate hard play area, due to the loss of existing hard play area because of the new classroom extension.
5. To allow the children to have full access to sports and play in all weathers.
6. To promote health and wellbeing and to encourage children to partake in activities.

## **7. Site Address**

St Luke's Primary School

Grange Lane North

Scunthorpe

DN16 1BN

## **8. Pre – Planning Advice**

The designer has had several discussions with Planning Officer, Matt Gillyon of North Lincolnshire Planning Department, with regards to the proposed scheme. However, these were general discussions on the project and no formal recordings were made.

## **9. Public Consultation**

There have been no public consultations.

## **10. Site Location**

Refer to: Site Location Plan A-100 and Block Plan – A\_102

## **11. Listed Building and Conservation Area**

The site and building are not in a conservation area.

## **12. Appearance, Design and Scale**

Many design factors have been considered in the proposal for each element of the proposed build.

### **1. Classroom Block**

The classroom block will replicate the existing extension, which the new building will be joined to. The new extension will have an appearance similar to the existing building with regards to materials. The classroom block will also emulate the form of the existing building with regards to scale, size, roof pitch and type, along with the following profile with the existing elevation to marry the door and window of the existing building with the new one.

### **2. Office Extension**

As the statement above, the office extension will marry with the existing building, in all but roof type and roof pitch. Due to the position of the new extension and the type of materials used in the existing construction, it would be difficult and a costly change, which means that this extension will have a flat roof.

### **3. New Hard Standing Play Area**

This will be a new hard standing play surface, which will be a standard tarmac play area. To the perimeter of the play area, on the south and east, a new 4m high ball stop fencing will be installed, to the south and east the fencing will be 2m high. The fencing will be a weld mesh powder coated sports fence, which is to be robust for sport and ball play. (Colour is to be confirmed.) The fence will also be an anti-climb fence. There will be no external lighting to the play area. Access will be gained by extending a path, which will provide level access.

The drainage for the new hard play will be around the soak away French drain type drainage, which will percolate into the surrounding ground, which will have no connection to the mains surface water drainage. This will be self-sufficient to the site.

### **4. New Parking.**

The new parking will utilise existing grass verges, which line part of the existing car park. These verses will accommodate 19 parking spaces and the surface will be

tarmac to match the existing car park. Surface water will be drained to a soak-away on site. Existing external lighting will cover the car parking. To facilitate the additional car parking, grass verges will be removed along with sapling trees. It is envisaged that replacement trees will be planted within the school grounds. Please note these trees will not be installed where children can access them.

### **13. DDA Access**

The school is fully compliant with regards to DDA access. All the new facilities will comply with the DDA regulations to be fully accessible to all.

### **14. Tree survey & Blanket TPO**

There has been no consultation with the local tree officer as the disturbance to existing vegetation is minimal. As discussed above, two small saplings will be removed from site to allow the parking base to be installed. To replace this, four new trees saplings will be included within the development, with the location to be agreed.

Telephone conversations and an onsite meeting have taken place with Angela Brocklebank, NLC Tree Officer.

### **15. Ecology & Biodiversity**

There will be very little disturbance with regards to removal of natural habitat.

#### **Vegetation**

Within the existing car park, grass verges will be converted to hard standing for parking and the existing grass verges lost would be considered low with regards to loss of habitat. There are several small saplings which will be removed for the parking uplift but new trees will be installed to compensate for this.

There is an area within the school field which will be used to site the new hard play surface. A large percentage of this school field is an artificial surface, which reduces the proportion of grassed area lost to hard standing.

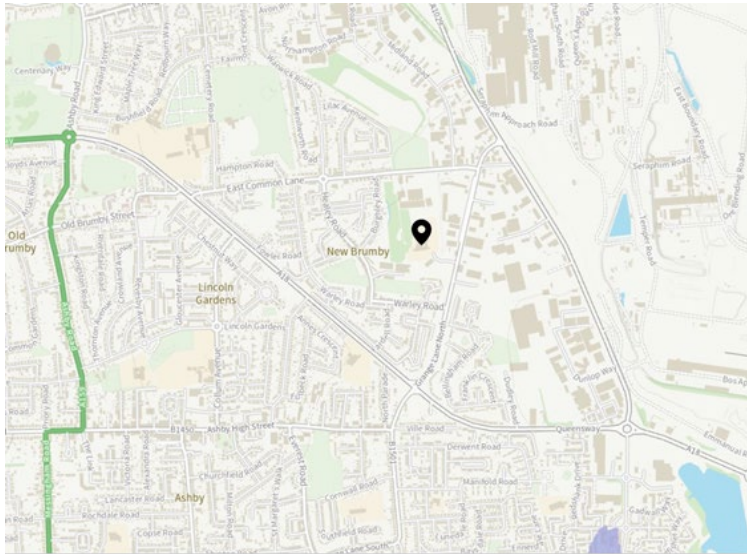
#### **Birds and bats.**

It is proposed that within the external life of the new classroom walls, either bird boxes or black boxes will be installed to provide nesting and roosting.

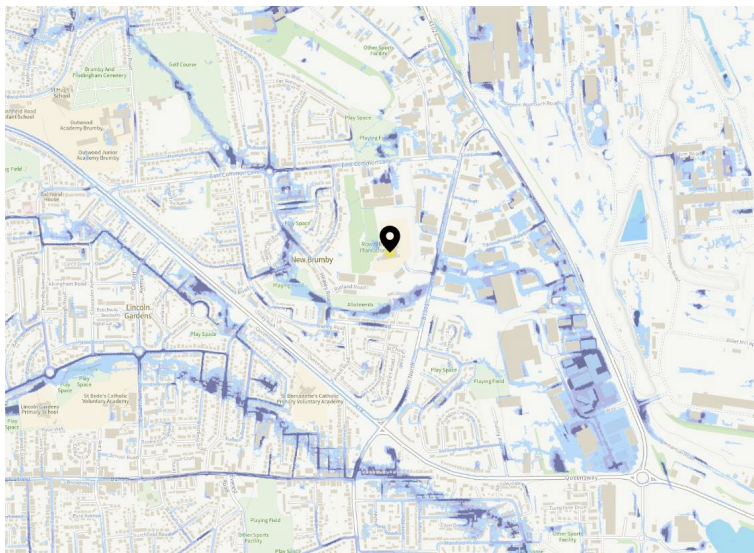
## 16. Flood Risk

Based on movement data the school site has:

1. Flooding from Rivers and Sea – very low risk of flooding.
2. Flooding form Surface water – very low risk of flooding.
3. Flooding from Ground water - is unlikely in this area.
4. Flooding from Reservoirs - is unlikely in this area.



Map above – from government data – shows no risk of flooding from rivers or sea.



Map above – from government data – shows no risk of flooding from surface water.

## **17. Drainage (Please refer to: - Flood Risk Section)**

### Foul Waste

Foul Waste will be connected into the existing sewers.

### Surface Water

Surface water is to use SuDS as first options soakaway.

## **18. Parking**

The current parking provision at the school does not accommodate all staff and users. Within the planned development, it is proposed that areas of current grass verges around the existing car park will be converted to provide more parking provisions, which would be an increase of 19 car park spaces. Please refer to drawing A-051.

## **19. Waste and recycling.**

Existing waste and recycling will remain the same.

## **20. Opening Times**

School opening times will remain the same.

## **21. Staffing & Pupil Numbers**

	<b>Present Numbers</b>	<b>September 2024</b>	<b>September 2025</b>
<b>Children</b>	194	190	210
<b>Staff</b>	119	125	135
<b>Supply Staff</b>	20	15	10
<b>Other staff e.g. kitchen staff, nurses</b>	6	6	6

## 22. Payment

Planning Application Payment - It is requested that the planning fee is to be invoiced to Business Services – North Lincolnshire Council.

Project Code 14406

Project Name – St Luke’s School – Increased Capacity Phase 2

## 23. Plant and Documents submitted with planning application.

Architectural Drawing provided with application.

1. A-001 Site Plans / OS
2. A-002 Site Areas – Block Plan
3. A-003 Development Sites
4. A-004 Phasing
5. A-005 Areas Gross
6. A-050 Proposed Car Parking
7. A-060 Proposed Play & Fencing Details.
8. A-061 Hard Play setting out
9. A-101 Existing GA Plan
10. A-102 Proposed GA Plan
11. A-103 Proposed GA Classroom Plan
12. A-104 Proposed GA Office Plan
13. A-110 Demolition Plan
14. A-130 Roof Plan - Existing
15. A-131 Roof Plan – Proposed
16. A-132 Detailed Roof Plan (Office and Classroom Blocks)
17. A-200 Dimension Plan & Setting Out – Classroom Block
18. A-201 Dimension Plan & Setting Out – Office Block
19. A-301 3D- Classroom Block
20. A-302 3D- Office Block
21. A-401 Existing Elevations
22. A-402 Proposed Elevations
23. A-403 Detailed Elevations
24. A-501 Proposed Section A – Classroom
25. A-502 Proposed Section B – Classroom
26. Proposed Section C – Classroom
27. A-504 Proposed Section D – Classroom
28. A-505 Proposed Section E – Classroom
29. A-506 Proposed Section F –G Classroom
30. A-521 Proposed Section A & B – Classroom
31. A-522 Proposed Section C & D– Classroom
32. A-523 Proposed Section E, F & G – Office

Civil Drawings Provided

1. 22209-H-DR-101-P1 – External Works for New Car Parking
2. 22209-H-DR-102-P1 – External Works for New Play Area
3. 22209-H-DR-103-P1 – Temporary Works for new extension.
4. 22209-H-DR-201-P1 – Drainage GA and Detailed for new Extension Area.
5. 22209-H-DR-202-P1 – Drainage Details