

South Elevation
PROPOSED ELEVATIONS 1:100



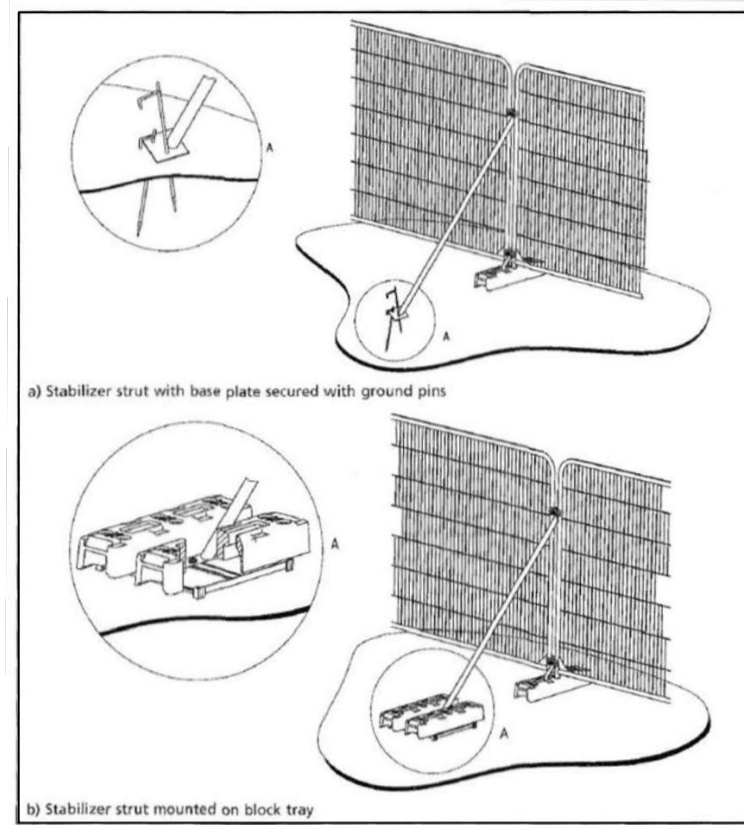
Rear Elevation



North Elevation

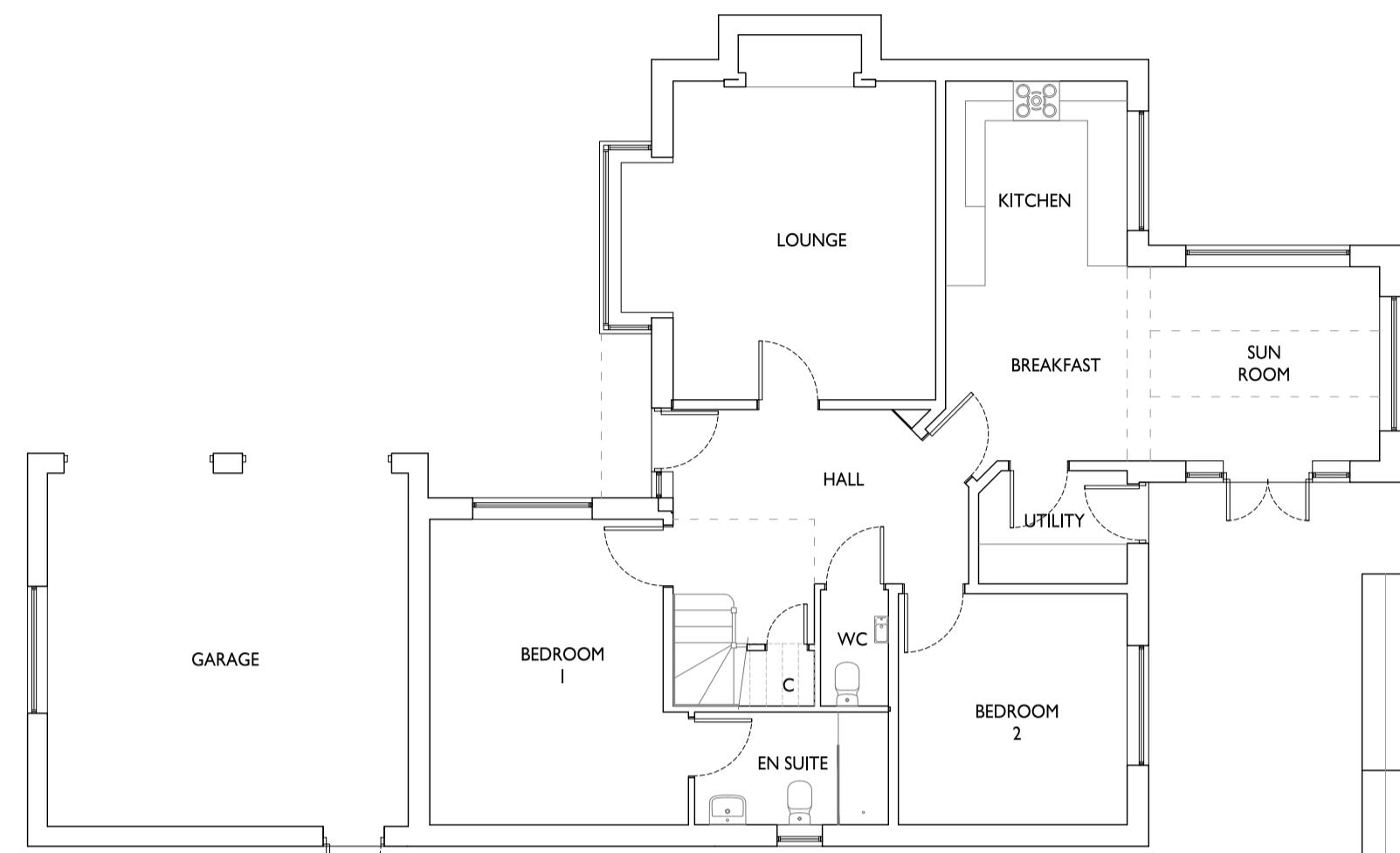


West Elevation

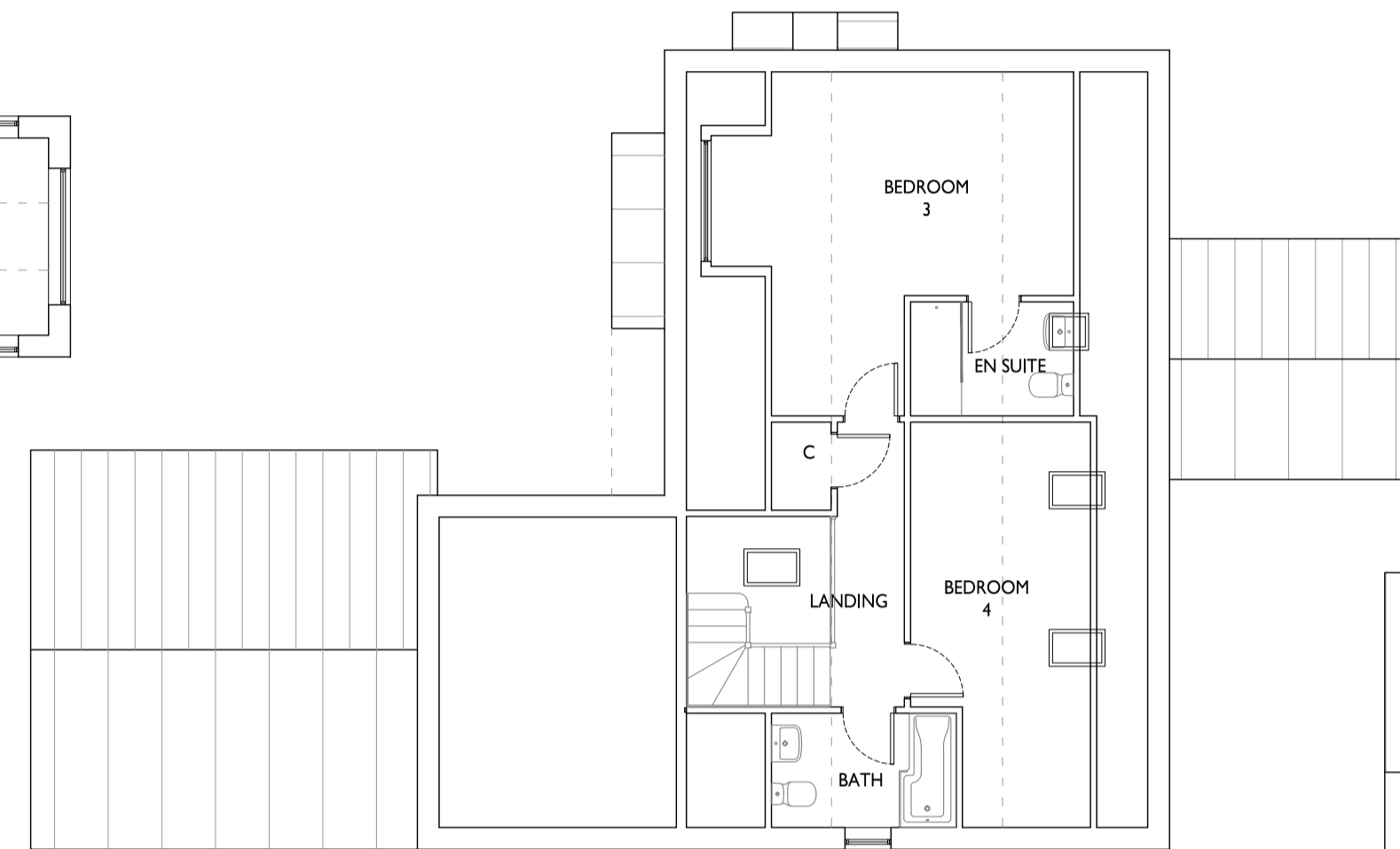


The protective fencing will be installed in accordance with BS 5837: 2012 and will comprise of weld mesh panel fencing, situated in rubber or concrete feet. Panels will be joined together using a minimum of two anti-tamper couplers, positioned so that they can only be removed from inside the barrier. The fencing will be supported at each joint (where two panels meet) with a stabiliser strut, attached to the fencing at one end and a base plate at the other, which will be secured with ground pins, driven into the underlying soil.

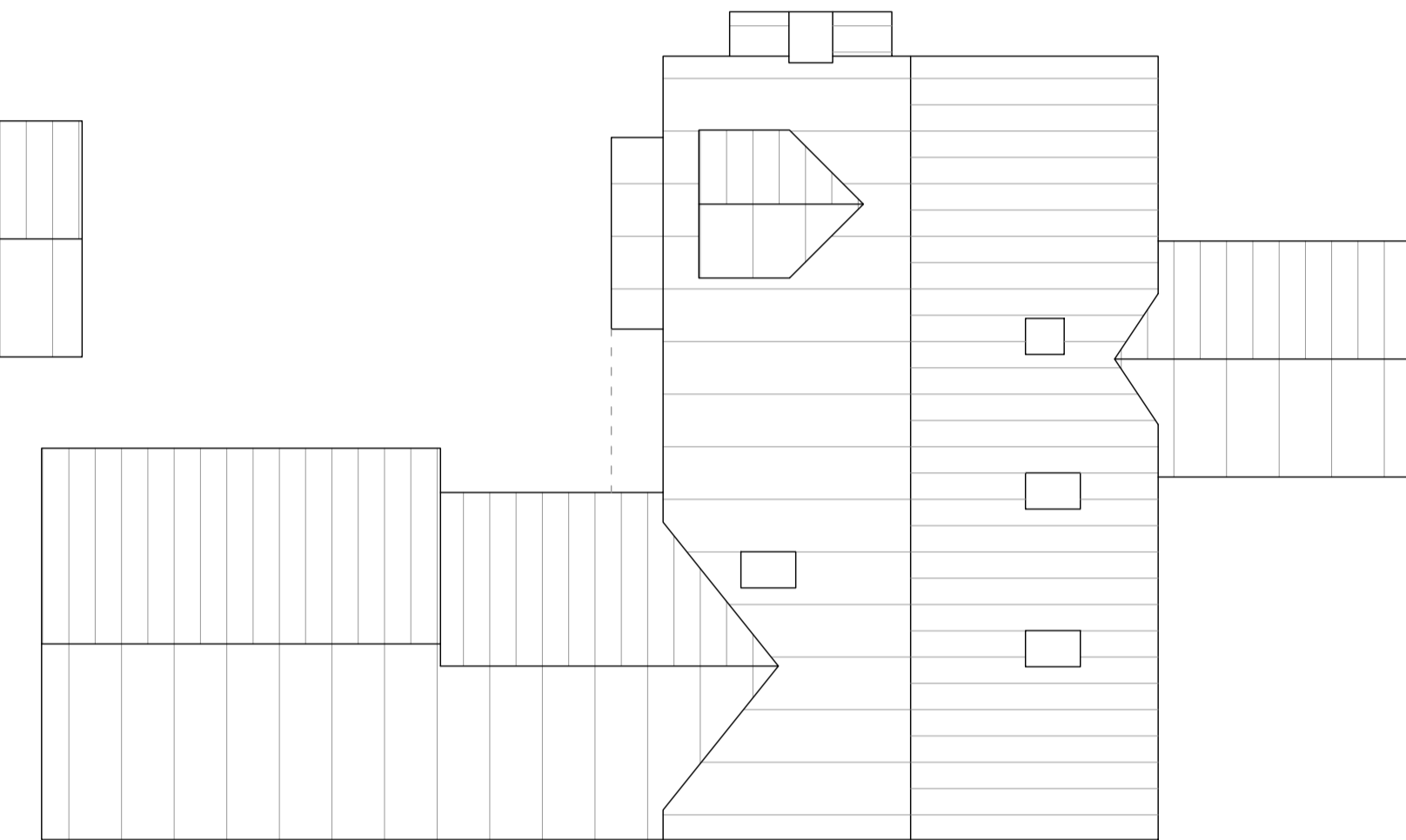
tree protection fencing indicated on below plan in **PURPLE**



Ground Floor Plan
PROPOSED PLANS 1:100



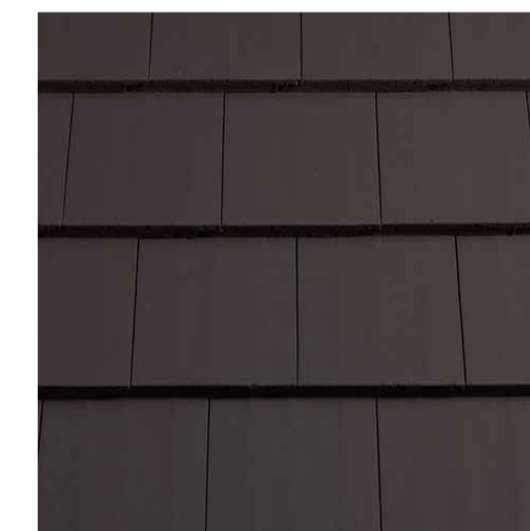
First Floor Plan



Roof Plan



PROPOSED SITE PLAN 1:250



Roof - dark grey colour flat concrete calderdale tiles



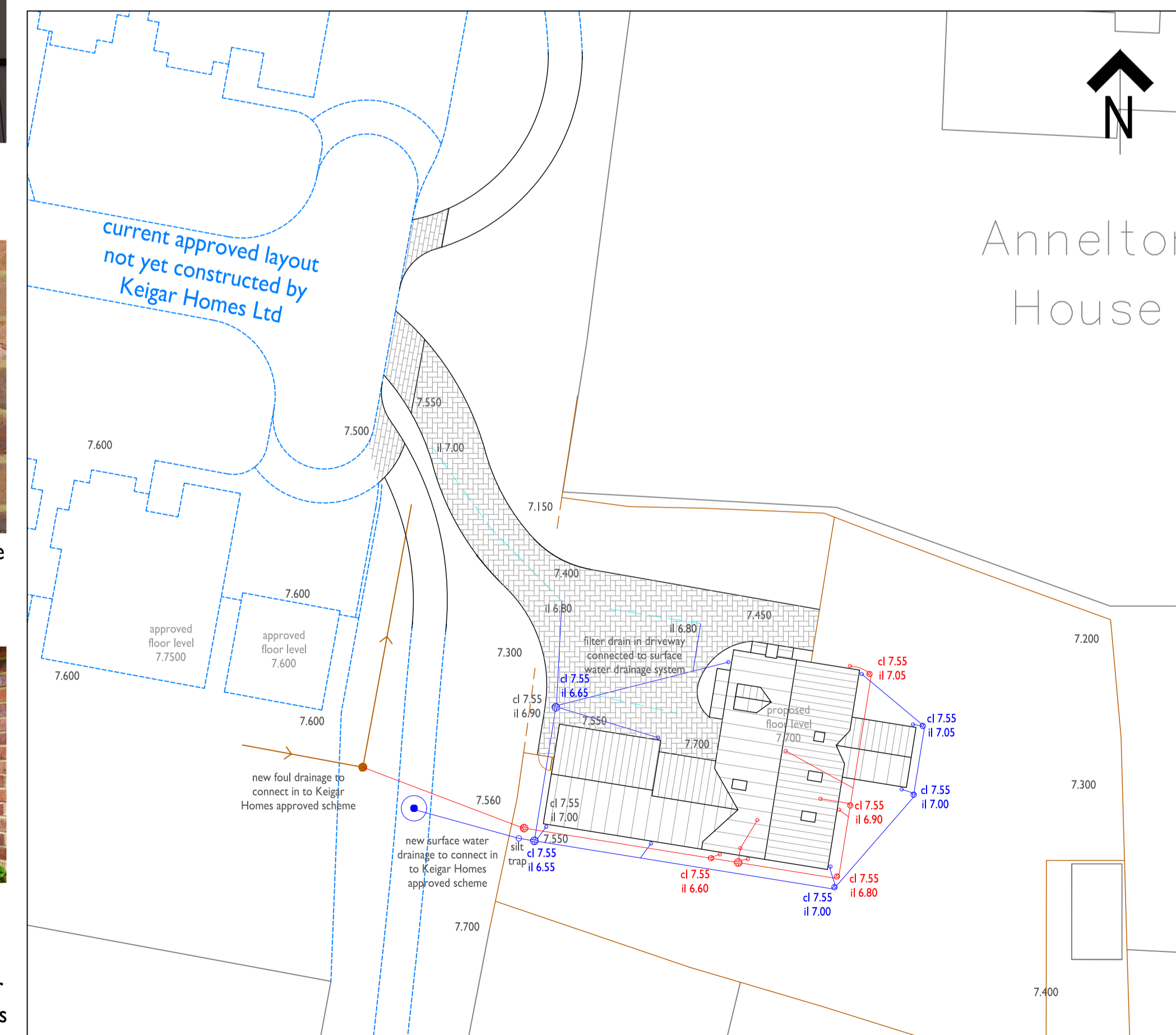
Walls - Wienerberger Heritage Blend Bricks



Windows White uPVC plain casement

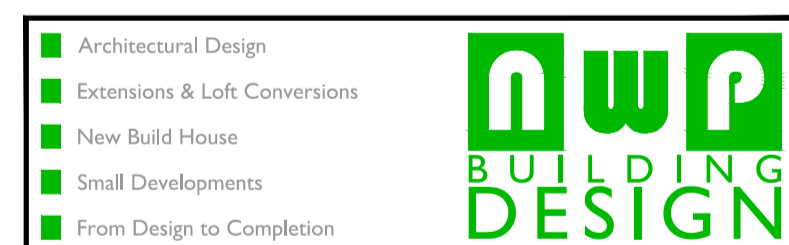
Doors - Composite front door & white uPVC rear / patio doors

MATERIALS



PROPOSED DRAINAGE & LEVELS PLAN 1:250

A Revised to take in to account comments made by planning. 05.03.24



client:
Mr N Platt
64 Merton Road, Scunthorpe

project:
Proposed Development rear of No.1 Ferry Road East, Barrow of 1 New Dwelling

drawing title:
Proposed Plans & Elevations

drawn by: NWP date: 13.10.2023 scale: As Shown @A1

drawing No: **427 I 003** rev: **A**

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