

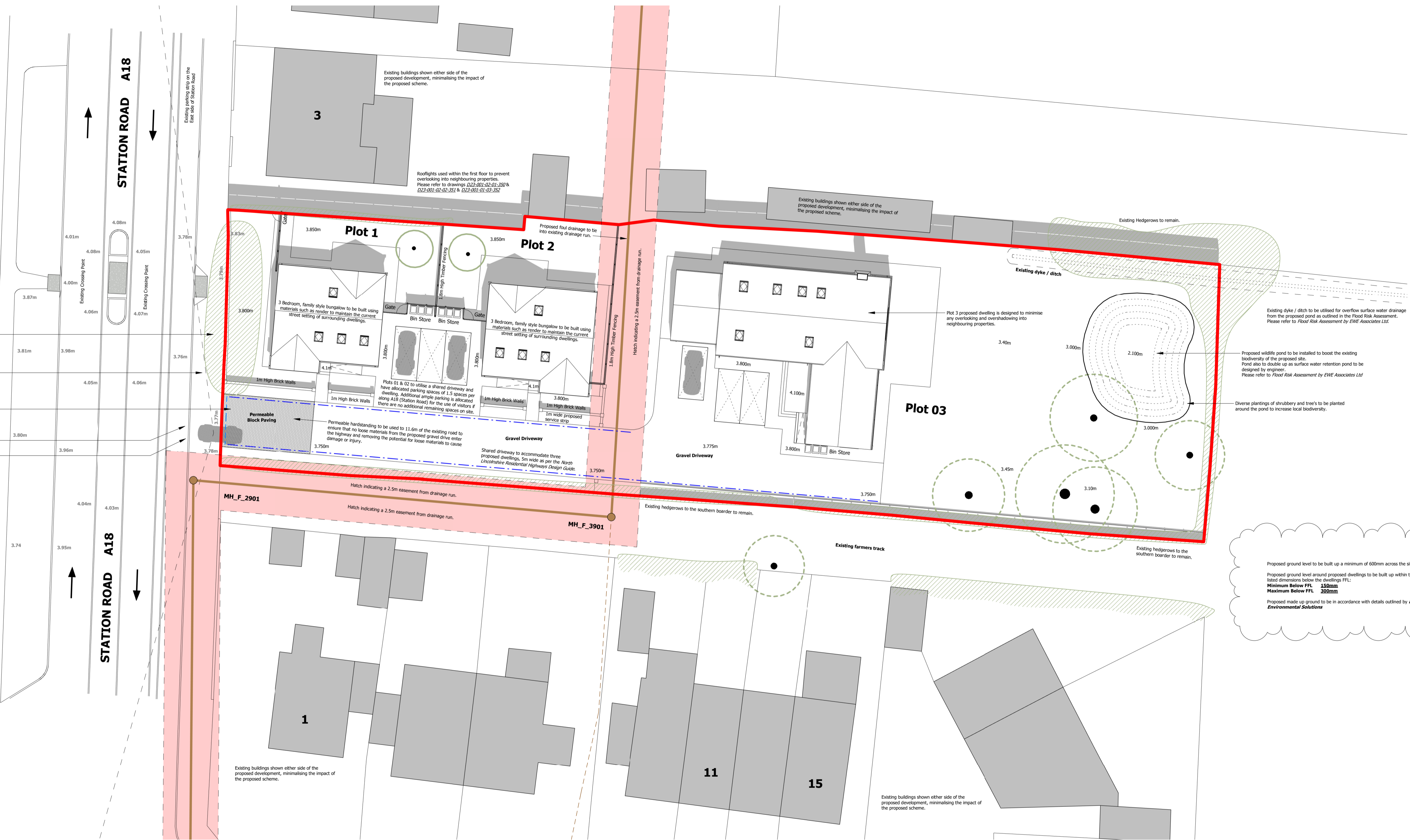
Notes

Explanations:
 Unless otherwise stated:
 • All dimensions are in millimeters
 • Dimensions are shown from structure, NOT finishes

Instructions:
 Responsibility is not accepted for values obtained in scaling from this drawing.
 Construction information should be taken from written dimensions only.
 Inconsistencies should be reported to the Author immediately.

References:
 To be read in conjunction with:

NOTE: all proposed levels shown on this plan are indicative and show an approximate finished level once works are complete.
 Existing levels shown in grey.



Existing hedgerow to remain as it provides clear privacy to plot 01 and drastically minimises the overall schemes impact to the existing street scene.

Visibility lines shown to demonstrate a large and safe line of sight for drivers entering and exiting the site.

Existing driveway is to be removed and the proposed site entrance is to be located on the southern boundary of the site. This improves visibility and pedestrian safety by moving all vehicular traffic away from the existing crossing point which is largely used within school run timeframe by small children.

Existing kerb drainage/gully to be removed and install 100mm ACO RoadDrain (or similar approved). Drain to be tied back into existing drainage run and all works (set/road/pipe) to be made good upon completion.

Drop kerb to be installed and existing road and path to be made good.

NOTE: Bins to be taken to the site entrance for refuse collection on allocated collection days.

NOTE: 1m Grass strip to be installed to the front of Plots 01 & 02 off the shared driveway to accommodate any services. Strip to be planted with minor shrubs and wildflowers.

--- Line indicates the proposed location of ACO drainage channel to be installed for the prevention of surface water running into public highway.

--- Line indicates the proposed location of perforated / French drainage system to be installed for the collection, management and removal of surface water from the proposed driveway area.

Proposed ground level to be built up a minimum of 600mm across the site.

Proposed ground level around proposed dwellings to be built up within the listed dimensions below the dwellings FFL:
Minimum Below FFL: 150mm
Maximum Below FFL: 300mm

Proposed made up ground to be in accordance with details outlined by Peak Environmental Solutions

Proposed Site Plan
 1 : 200

B	Driveway amended and indicative levels added.	23/06/24	Planning
A	Drawing Amended	27/06/24	Client
Rev	Details	Date	Signed
Project Name			
Residential Development			
Client			
Mr J. Chapman			
Project Address			
1 Station Road Gunness, DN15 8SU			
Drawing Title			
Proposed Site Plan			
Drawing Stage			
03. Planning		Issued	
Project Number	Drawing Number	Revision	
23_001	00-00_051	B	
Date	Scale	Drawn By	Checked By
07/05/2024	1 : 200	Dan Mc	JC
Approved By	Size		
	A1		