

<b>APPLICATION NO</b>	<b>PA/2024/1208</b>
<b>APPLICANT</b>	Miss Laura Willsmore
<b>DEVELOPMENT</b>	Planning permission to erect a two-storey rear and single-storey side extension
<b>LOCATION</b>	12A Stuart Close, Yaddlethorpe, Bottesford, DN17 2RL
<b>PARISH</b>	<b>BOTTESFORD</b>
<b>WARD</b>	Bottesford
<b>CASE OFFICER</b>	Georgina Hopwood
<b>SUMMARY RECOMMENDATION</b>	<b>Approve with conditions</b>
<b>REASONS FOR REFERENCE TO COMMITTEE</b>	Objection by Bottesford Town Council

## **POLICIES**

### **National Planning Policy Framework [December 2024]:**

- 4 Decision-making
- 9 Promoting sustainable transport
- 12 Achieving well-designed places
- 16 Conserving and enhancing the historic environment

### **North Lincolnshire Local Plan:**

- DS1 General requirements
- DS5 Residential extensions
- SPG1 Design guidance for household extensions

### **North Lincolnshire Core Strategy:**

- CS1 Spatial strategy for North Lincolnshire
- CS2 Delivering more sustainable development
- CS3 Development limits
- CS5 Delivering quality design in North Lincolnshire

## **Housing and Employment Land Allocations Development Plan Document:**

Insert 36 – Scunthorpe

### **CONSULTATIONS**

#### **Highways:**

13/11/2024: As the extension is to the rear and side of the property and does not seem to impact the parking provisions within the site, Highways have no further comments or objections.

20/12/2024: No comments to make on the amended drawings.

**LLFA/Drainage Team:** No objections or comments to the proposed development.

### **TOWN COUNCIL**

Objects to this application for the following reasons:

- The rear extension would bring the wall to within about 3 metres of the rear boundary fence.
- The bungalow to the rear would suffer loss of privacy with a potential reduction in light.
- The addition of a window to the west wall may cause loss of privacy for neighbouring properties.

### **PUBLICITY**

A site notice has been displayed for both the original submission and amended plans. No responses have been received to either.

### **ASSESSMENT**

#### **Relevant planning history**

There are no previous applications.

#### **Proposal**

Planning permission is sought for the addition of a two-storey rear extension and single-storey (eastern) side extension to 12A Stuart Close. The proposal also includes the addition of a new first-floor obscure-glazed window to the existing western wall of the dwelling. The proposal would stand 3.145m from the rear boundary as confirmed via correspondence with the agent. The walls of the proposed extension would be constructed using brown facing brickwork to match the appearance of the host dwelling and the surrounding dwellings.

#### **Site characteristics**

The site is within the defined development limits of Scunthorpe, within flood zone 1. There are no protected trees within or immediately adjacent to the site, and no listed buildings are impacted by the development.

The site contains one detached dwelling, with a detached garage adjacent to the rear boundary of the site. The dwelling is a two-storey, double-fronted property, constructed from brown facing brickwork, and has a pitched roof with double-Roman tiles, and white uPVC windows and doors.

The site is surrounded by residential properties on all sides. To the north-west is St Andrews Avenue, a cul-de-sac comprising bungalows.

### **Material considerations**

Section 38(6) of the Planning and Compulsory Purchase Act 2004 provides that if regard is to be had to the development plan for the purpose of any determination to be made under the planning Acts, the determination must be made in accordance with the plan unless material considerations indicate otherwise. Section 70(2) of the Town and Country Planning Act states that, in dealing with an application for planning permission, the local planning authority shall have regard to the provisions of the development plan, so far as material to the application; any local finance considerations, so far as material to the application; and any other material considerations. In this instance, the development plan consists of the saved policies of the North Lincolnshire Local Plan (NLLP), and the North Lincolnshire Core Strategy (NLCS). Other material planning policy considerations include the National Planning Policy Framework (the NPPF), the government's Planning Policy Guidance (PPG) and a suite of supplementary planning documents.

### **The main issues in determining this application are:**

- **the principle of development**
- **impacts upon residential amenity**
- **design and impact on the character and appearance of the area**
- **other matters.**

### **Principle of development**

The proposal is within the development limits of Scunthorpe. It is also noted that the site constitutes unallocated land. The principle is therefore supported by the development plan within policy CS3 of the Core Strategy (CS). Moreover, the proposal constitutes a residential development and is therefore further supported in principle by policy DS5 of the North Lincolnshire Local Plan.

However, it should be noted that this 'in principle' position is subject to compliance with the technical and environmental issues and relevant policies outlined below, which constitute material considerations in the determination of planning applications.

### **Impacts on residential amenity**

Policy DS1 of the NLLP states that no unacceptable loss of amenity to neighbouring land uses should result from new developments. Such impacts are designated to be related to noise, smell, fumes, dust or other nuisance, or through the effects of overlooking or overshadowing. The floor plans outline that the new sections of the house will be used for residential purposes. There will be no demonstrable increase in noise, smell, fumes, dust or other nuisance as a direct result of this development, satisfying policy DS1 of the NLLP.

The new window in the western wall of the existing dwelling will be obscure glazed (which will be conditioned) and serves a bathroom. It is therefore considered that there will be no loss of privacy for the neighbouring property to the west subject to the window being conditioned to be obscure glazed. The application has been supported by detailed plans including elevation plans, block plans, a location plan and a detail section. Based on the information submitted and the officer's site visit, it is not considered that the density, scale or design of the extensions would unduly compromise the living conditions of occupants of the neighbouring properties.

Although the two-storey rear extension will be larger in scale in relation to the bungalows to the rear on St Andrews Avenue, the rear extension will be more than 3 metres away from the rear boundary and the application site is set at a lower ground floor level than the bungalows to the rear. Furthermore, the bungalow to the rear of the application site is offset from the curtilage of 12A Stuart Close and is therefore not directly behind the rear garden. The two-storey rear extension has been designed with a hipped roof and will be lower in height than the main roof of the dwelling house, which further reduces the impact of the extension on the bungalow to the rear. For these reasons, the rear extension will not result in any demonstrable increase in overlooking or loss of light to the rear bungalow. The proposal, by virtue of its design, scale and location, would not result in any unacceptable overbearing, overlooking or overshadowing impacts on the residential amenity of adjoining neighbours, satisfying policy DS5 of the NLLP.

### **Design and impact on the character and appearance of the area**

The property is in a close of uniform two-storey semi-detached housing. However, 12A Stuart Close is unique as the only detached dwelling. The proposed side extension, while visible from the highway, is set back from the main dwelling and has been well-designed with a pitched roof and materials that match the existing dwelling. The two-storey rear extension has been designed with a hipped roof and is not readily visible from Stuart Close as it is located to the rear of the main dwelling and partially shielded by the adjacent properties on Stuart Close.

Regarding the design of the proposals, the roof of both the single-storey side and two-storey rear extension will be pitched, and the windows will match the existing. The extensions, in terms of scale, will be subservient to the main dwelling. The window on the west elevation will serve a bathroom and will be conditioned to be obscure glazed. These aspects satisfy the SPG1 Design Guidance for House Extensions.

In summary, the proposals are of a high standard of design, sympathetic to the design of both the original house and neighbouring houses. Regarding the materials used, it appears that the windows, doors, gutters and fascias will match the existing. The brick walls and roofing materials will also match the existing dwelling.

### **Other matters**

The comments made by Bottesford Town Council are noted, and have all been addressed within this report.

Schedule 7A of the Town and Country Planning Act 1990 (inserted by the Environment Act 2021) provides that every grant of planning permission shall be subject to the condition that the biodiversity gain objective is met, further subject to exemptions. This objective is for development to deliver at least a 10% increase in biodiversity value relative to the pre-

development biodiversity value of the on-site habitat. Householder applications, including small projects like home extensions, conservatories or loft conversions, are exempt from Biodiversity Net Gain legislation. As this proposal constitutes a householder application, it is exempt from BNG legislation.

## **Conclusion**

Having regard to the above, it is considered that the principle of this development is acceptable; the development would not result in unacceptable adverse impacts upon living conditions for occupants of nearby residential properties; and it would not result in unacceptable adverse impact on the character and appearance of the area. It is therefore recommended that planning permission be granted subject to conditions.

## **RECOMMENDATION Grant permission subject to the following conditions:**

1.

The development must be begun before the expiration of three years from the date of this permission.

### **Reason**

To comply with section 91 of the Town and Country Planning Act 1990.

2.

The development hereby permitted shall be carried out in accordance with the following approved plans:

- Drawing No 003 Rev P2 – Proposed Elevations
- Drawing No 004 Rev P2 – Proposed Plans
- Drawing No 005 Rev P2 – Detail Plan
- Drawing No 006 Rev P2 – Detail Section.

### **Reason**

For the avoidance of doubt and in the interests of proper planning.

3.

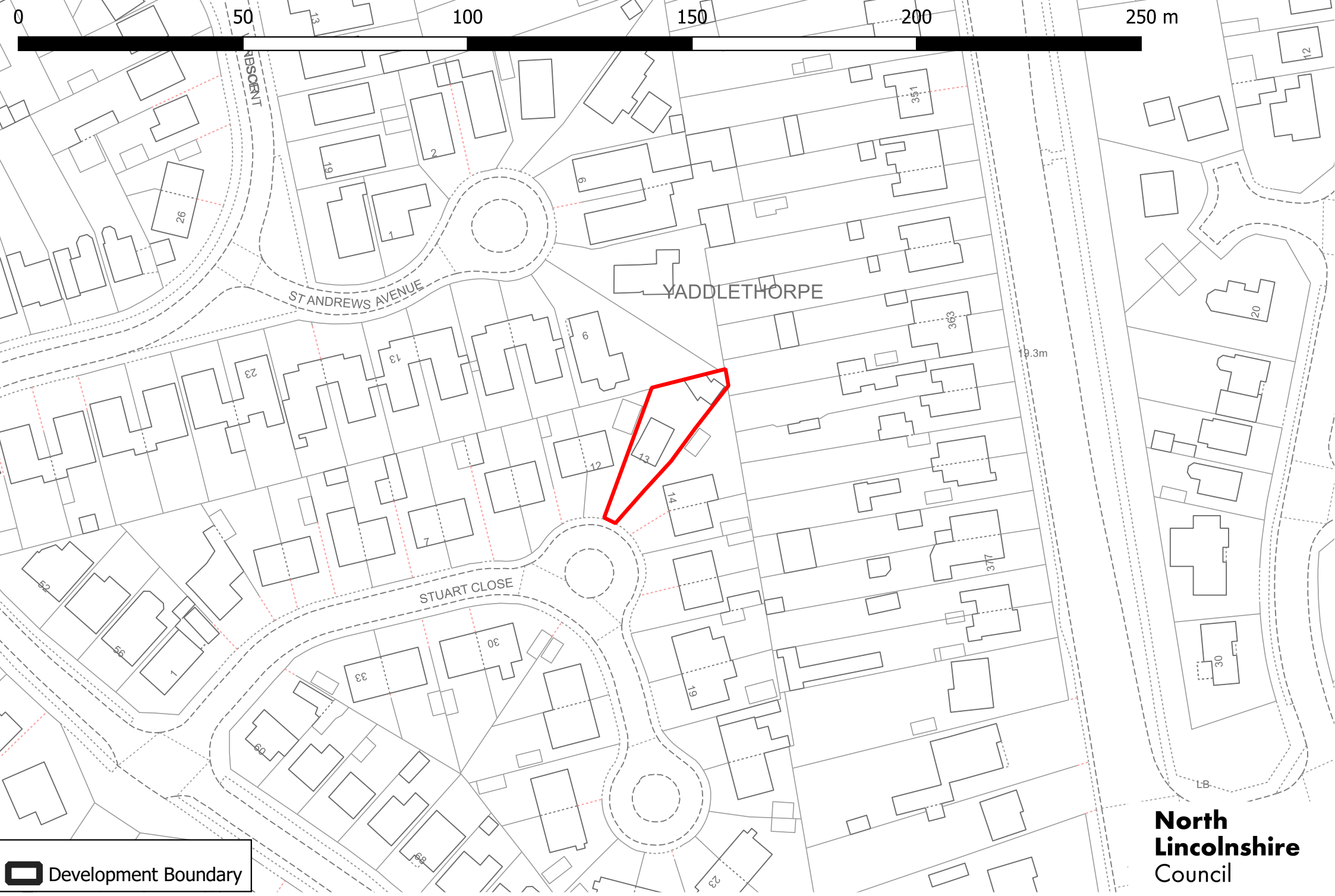
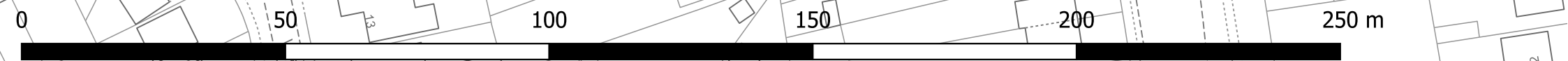
Before the extension is first occupied, the first-floor bathroom window in the western elevation shall be obscure glazed to a minimum of Privacy Level 3 in accordance with the Pilkington Scale of Obscuration and shall be retained in that condition thereafter.

### **Reason**

To protect the living conditions of the adjoining neighbours in accordance with policies DS1 and DS5 of the North Lincolnshire Local Plan, and CS5 of the Core Strategy.

## **Informative**

In determining this application, the council, as local planning authority, has taken account of the guidance in paragraph 39 of the National Planning Policy Framework in order to seek to secure sustainable development that improves the economic, social and environmental conditions of the area.

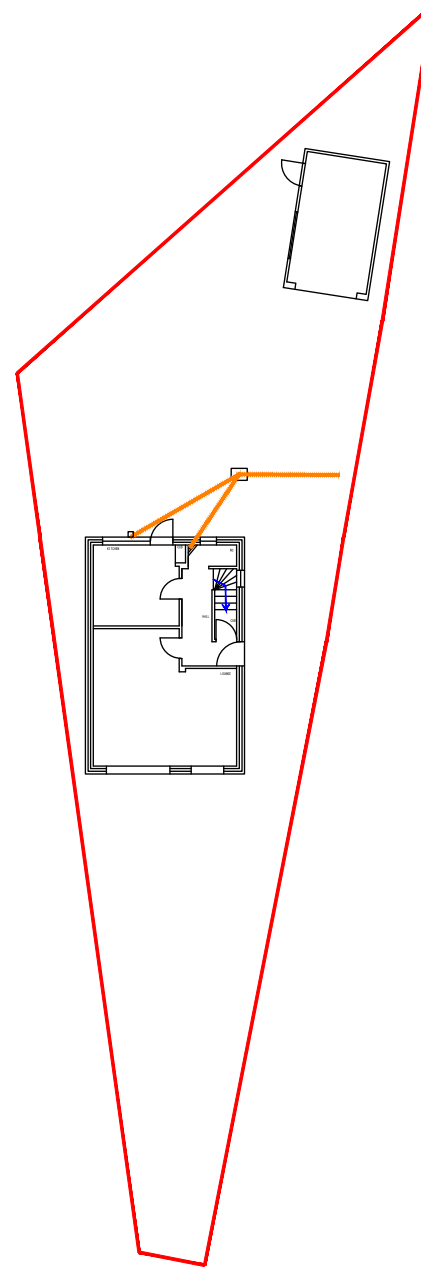
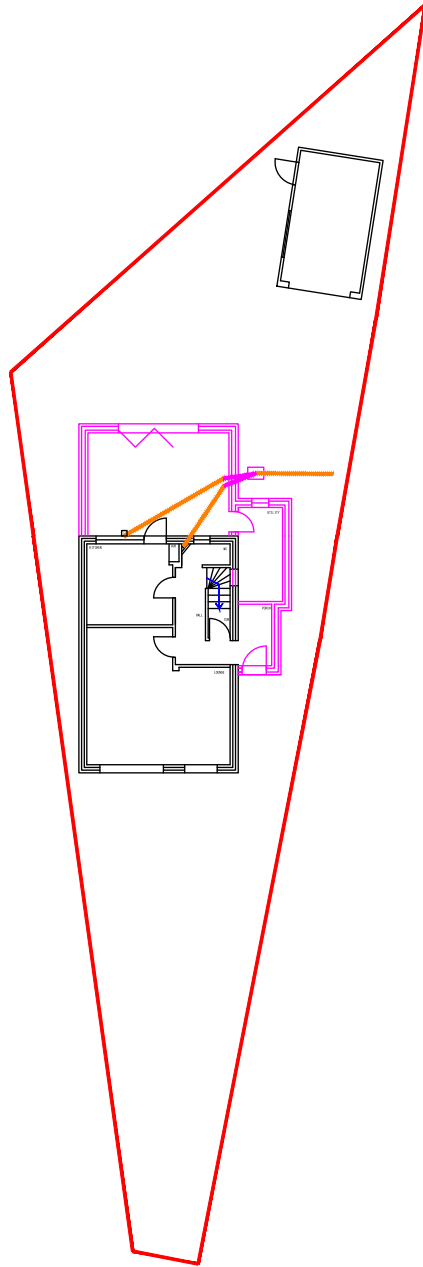


 Development Boundary

**PA/2024/1208**

**North  
Lincolnshire  
Council**

# PA/2024/1208 Proposed layout (not to scale)



General Notes

- Notes:
1. This drawing is to be read in conjunction with all other relevant engineering, architectural and structural drawings.
  2. Drawings not to be scaled. All dimensions to be checked on site by the builder. Any discrepancies to be notified to the building designer and further instruction obtained before work is commenced.
  3. The structure is designed to be self-supporting and stable after the construction phase is complete. It is the responsibility of the builder to determine the construction procedure and sequence and ensure that the building and its components are safe during construction. This includes and temporary works or bracing which may be necessary.
  4. This drawing represents a detailed dimensional measurement survey of the physical dimensions of the existing property. This drawing does not and is not intended to express any opinion on the physical, superficial, or structural condition of the premises depicted.
  5. This drawing is to be read in conjunction with all other drawings and building regulation specifications.

No.	Description	Date
1	First Issue	16/09/24

**JET**

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Client:  
TBC

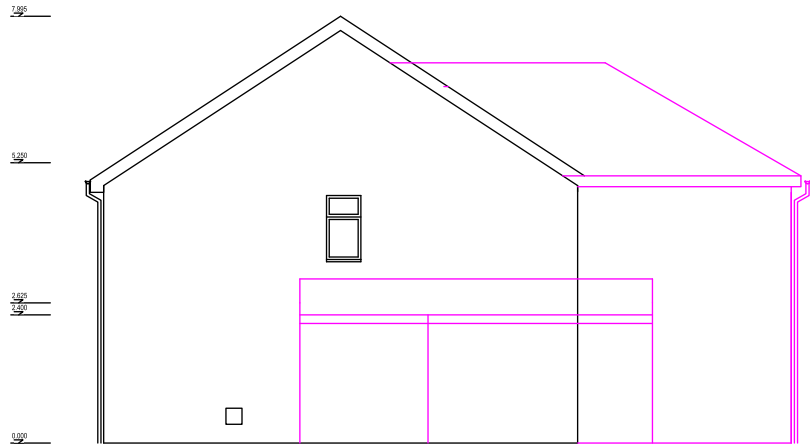
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12a Stuart Close  
Scunthorpe  
DN17 2RL

Title:  
Site Plan

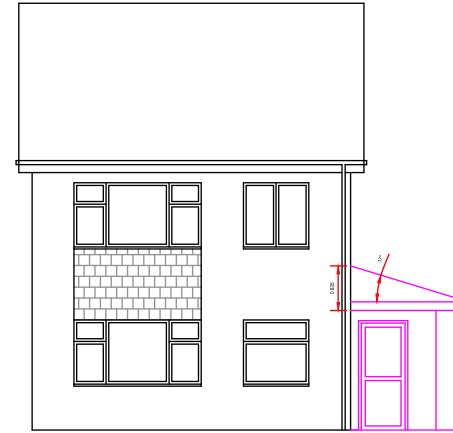
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Job No: SQ008	Scale: 1:200
Drawn No: 007	Sheet No: PI A3

# PA/2024/1208 Proposed elevations (not to scale)

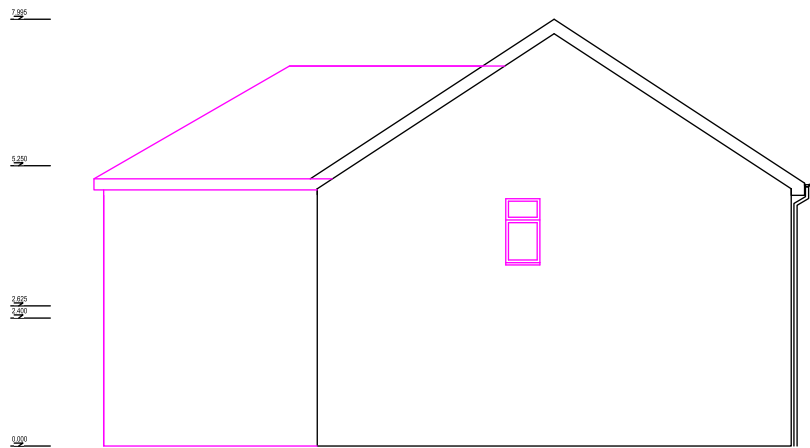
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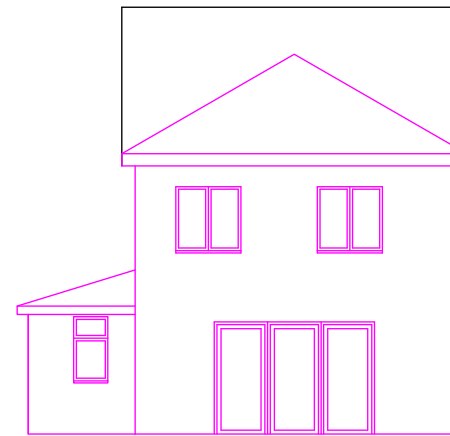
EAST



SOUTH



WEST



NORTH

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2	Layout and roof amended to suit planning comments	28/1/24
1	First issue	16/09/24

No.	Description	Date
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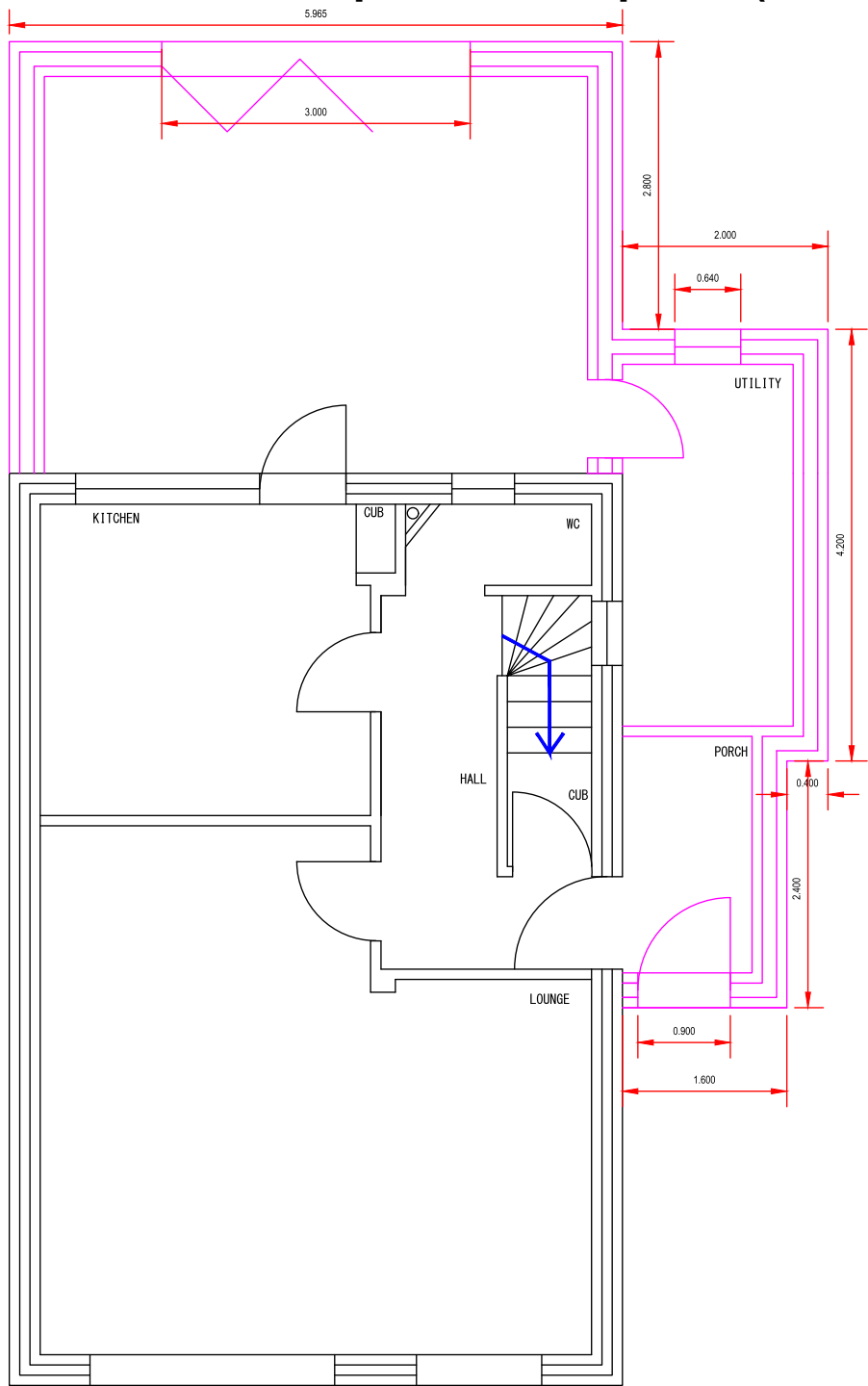
Date:  
Miss Wilsmore & Mr Beacock

Project:  
12a Stuart Close  
Scunthorpe  
DN17 2RL

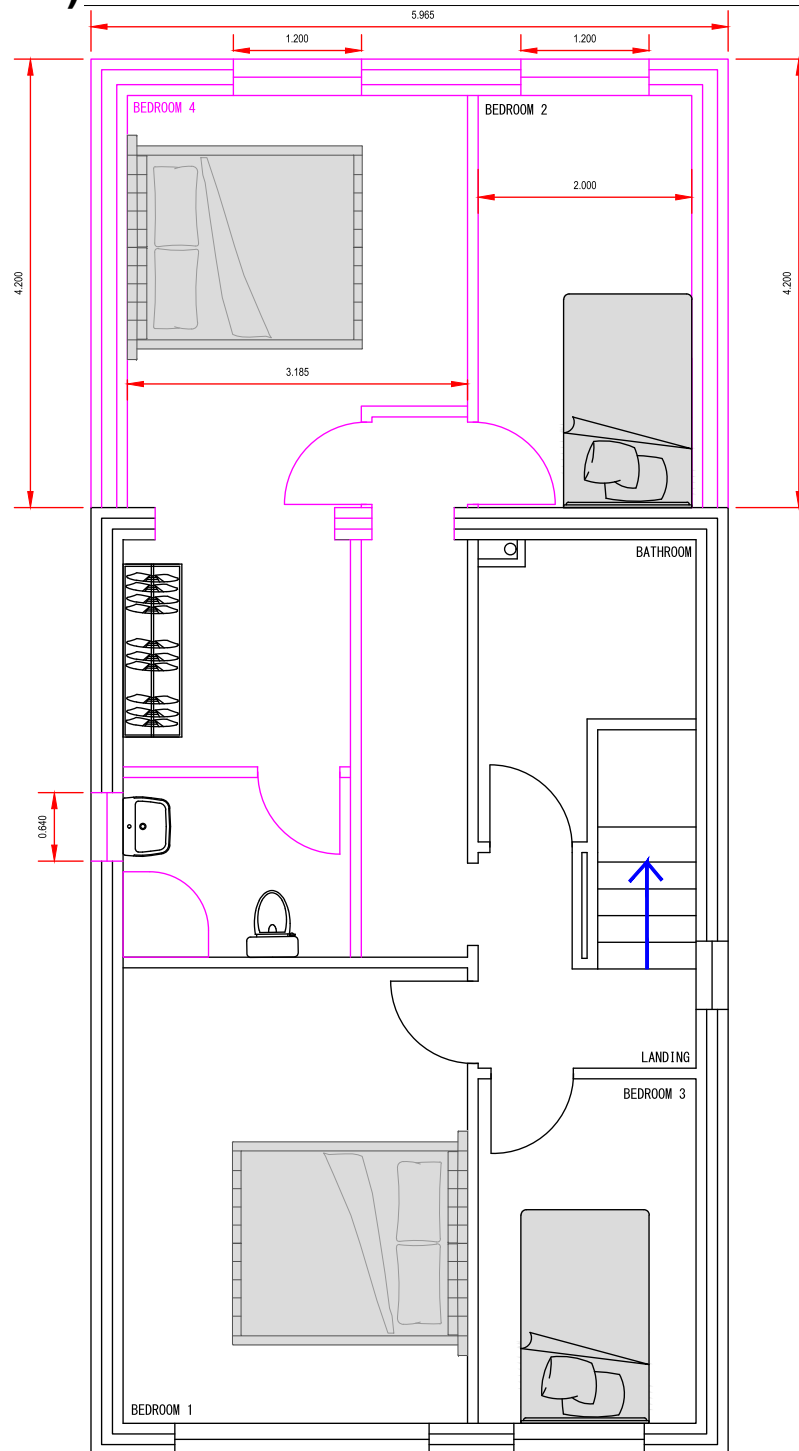
Title:  
Proposed Elevations

Drawn By: S Dyer	Date: 16/09/24
Job No: SQ008	Scale: 1:100
Drawing No: 003	Sheet No: A3

# PA/2024/1208 Proposed floor plans (not to scale)



GROUND FLOOR



1ST FLOOR

General Notes

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Date: Miss Wilsmore & Mr Beacock

Project: 12a Stuart Close  
Scunthorpe  
DN17 2RL

Title: Proposed Plan

Drawn By: S Dwyer	Date: 16/09/24
Job No: S00008	Scale: 1:50

Drawing No: 004	Rev: P2	Sheet Size: A3
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