



Baysgarth School

Baysgarth School, North Lincolnshire

Flood Risk Assessment

681732-R1(0)-FRA

April 2025



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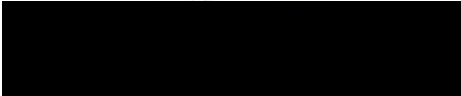
an **RSK** company

RSK GENERAL NOTES

Project No.: 681732-R1(0)-FRA
Site: Baysgarth School, North Lincolnshire
Title: Flood Risk Assessment
Client: Baysgarth School
Date: April 2025
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Status: Draft

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Date:	<u>24.04.25</u>	Date:	<u>24.04.25</u>

Quality reviewer M Cheeseman



Signature

Date: 25.04.25

Issue No	Version/Details	Date issued	Author	Reviewed by	Approved by
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Where any data supplied by the client or from other sources have been used, it has been assumed that the information is correct. No responsibility can be accepted by RSK for inaccuracies in the data supplied by any other party. The conclusions and recommendations in this report are based on the assumption that all relevant information has been supplied by those bodies from whom it was requested.

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Where field investigations have been carried out, these have been restricted to a level of detail required to achieve the stated objectives of the work.

This work has been undertaken in accordance with the quality management system of RSK LDE Ltd.

Baysgarth School
 Baysgarth School, North Lincolnshire
 FRA
 681732-R1(0)-FRA

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1 INTRODUCTION

RSK Land and Development Engineering Ltd were commissioned by Baysgarth School (the client) to provide a Flood Risk Assessment (FRA) to support the planning application at Baysgarth School (the site). Development proposals include the development of a test track.

The purpose of the FRA is to establish the risk associated with the proposed development and to propose suitable mitigation, if required, to reduce the flood risk to a more acceptable level. The FRA must demonstrate that the development will be safe for its lifetime, taking account of the vulnerability of its users, without increasing flood risk elsewhere.

This document has been produced to assess the flood risk from tidal, fluvial, surface water, groundwater, sewers, reservoirs and artificial sources in line with the National Planning Policy Framework (NPPF)¹ and its corresponding Planning Practice Guidance (PPG)².

This assessment has been undertaken in consultation with the relevant authorities, and with reference to data, documents and guidance published by the Environment Agency (EA), the Lead Local Flood Authority (LLFA) and the Local Planning Authority (LPA) (North Lincolnshire Council), and the Water Authority (Anglian Water).

The comments given in this report and opinions expressed are subject to RSK Group Service Constraints provided in **Appendix A**.

¹ Communities and Local Government, 'National Planning Policy Framework', published March 2012 and last updated December 2024.

² Communities and Local Government, 'Planning Practice Guidance - Flood Risk and Coastal Change, ID 7', published March 2014 and last updated August 2022.

2 SITE DESCRIPTION & PROPOSALS

2.1 Existing site

2.1.1 Site description

The school is located to the south of Barrow Road in North Lincolnshire. The area of proposed works is southwest of the school and can be located at National Grid Reference 503496E, 421594N and postcode DN18 6AE. A site location plan is included as **Figure 2.1**.

The site covers an area of approximately 10,200m² (1.02ha). The site is entirely soft landscaping as it is currently the school playing field.

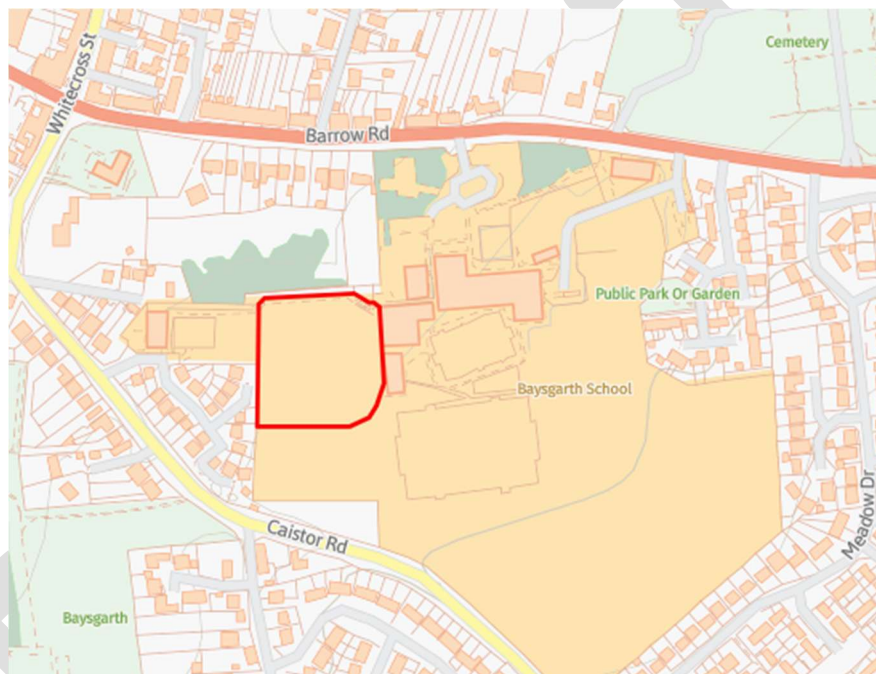


Figure 2.1: Site location plan

2.1.2 Topography

A site-specific topographic survey has been carried out. The survey shows the existing site levels vary from 17.56m above ordnance datum (mAOD) to 21.12mAOD. The land generally falls from the northwestern corner to the southeastern corner of the site.

The topographic survey is included in **Appendix B**.

2.1.3 Existing drainage

2.1.3.1 Public

Anglian Water sewer plans have been obtained for the site and are included in **Appendix C**. These plans indicate that there are no sewers within the site boundary. However, there

are surface water and foul sewers within the residential development to the west of the site. There is also a combined sewer network flowing to the north along Caistor Road, south of the site.

2.1.3.2 *Private*

Surface water runoff is currently thought to infiltrate into the surrounding grassed area.

2.2 **Development proposals**

The development proposals for the site include the construction of a test track.

The proposed test track will be constructed from tarmac with recycled plastics.

The relevant proposed site plans are included as **Appendix D**.

3 ENVIRONMENTAL SETTING

3.1 Hydrology

Reference to Ordnance Survey (OS) mapping and the EA's web-based mapping indicates that the nearest EA Main River is the Barton Haven, which is located approximately 780m north of Baysgarth School. The Humber Estuary is approximately 1.8km north of the site.

3.2 Geology

Based on published geological records for the area (British Geological Survey online mapping), the site exhibits the following geology:

- Superficial Geology: Till, Devensian - Diamicton
- Bedrock Geology: Welton Chalk Formation - Chalk

A historic BGS borehole dated 1951 and referenced as 'TA02SW43' is approximately 200m west of the site. This borehole has a superficial geology of 'Head – Clay, Silt, Sand and Gravel' and has a bedrock geology of 'Welton Chalk Formation – Chalk'. This borehole records groundwater levels over a year, with the groundwater level being on average approximately 15ft (4.5m) below ground level throughout the year.

At the time of writing, no site-specific intrusive ground investigations have been undertaken for the site to confirm the underlying geology, potential contamination, permeability or groundwater levels on site.

3.3 Hydrogeology

Hydrogeological information was obtained from the online Magic Maps service. These maps indicate that the site is underlain by a 'Secondary (undifferentiated)' superficial aquifer within the Till geology. The maps also indicate that the site is underlain by a 'Principal' bedrock aquifer within the Chalk geology.

The site is located within a 'Zone 2 – Outer Protection Zone' groundwater Source Protection Zone, with 'Zone 1 – Inner Protection Zone' approximately 45m southeast of the site.

4 SOURCES OF FLOOD RISK

4.1 Criteria

In accordance with the NPPF and advice from the EA, an assessment of the risk associated with various flooding sources is required along with consideration of the effects of climate change over the design life of the development.

The EA's most recent climate change guidance, published in May 2022³, should be referenced in order to identify the appropriate peak river flow and rainfall intensity allowances for the scheme. The appropriate allowance for peak river flow is based on the location of the site in the country, the lifetime of development, the relevant flood zone and the vulnerability of the proposed end use.

The flood risk elements that need to be considered for any site are defined in BS 8533 'Assessing and managing flood risk in development Code of practice'⁴ as the "Forms of Flooding" and are listed as:

- Flooding from rivers (fluvial flood risk);
- Flooding from the sea (tidal flood risk);
- Flooding from the land;
- Flooding from groundwater;
- Flooding from sewers (sewer and drain exceedance, pumping station failure etc); and
- Flooding from reservoirs, canals and other artificial structures.

The following section reviews each of these in respect of the subject site.

4.2 Flooding from rivers (fluvial flood risk)

The EA Flood Zone mapping study for England is available on their website at: <https://flood-map-for-planning.service.gov.uk>.

The latest EA published flood zone map (**Figure 4.1**) shows that the site lies within Flood Zone 1, representing a less than 1 in 1,000 year probability of flooding from fluvial or sea sources.

³ Environment Agency, 'Guidance: Flood Risk Assessments: Climate Change Allowances'.
<https://www.gov.uk/guidance/flood-risk-assessments-climate-change-allowances>, last updated May 2022.

⁴ BSI, 'BS 8533-2017 Assessing and managing flood risk in development Code of practice', December 2017.



Figure 4.1: Environment Agency ‘Flood map for planning’ (April 2025)

The EA was formally consulted as part of this assessment, with request for flood related information (including flood levels) included in the consultation. Their full response to the flood data request can be found in **Appendix E**. As the site is located within Flood Zone 1, the EA were only able to provide the above Flood Map.

The overall risk of fluvial flooding is considered to be **very low**.

4.3 Flooding from the sea (tidal flood risk)

The site is not considered to be at risk from tidal flooding.

The overall tidal flood risk is considered to be **very low**.

4.4 Flooding from the land (surface water flood risk)

If intense rain is unable to soak into the ground or be carried through manmade drainage systems, for a variety of reasons, it can run off over the surface causing localised floods before reaching a river or other watercourse.

Generally, where there is impermeable surfacing or where the ground infiltration capacity is exceeded, surface water runoff can occur. Excess surface water flows from the site are believed to drain naturally through infiltration.

The EA’s surface water flood map (**Figure 4.2**) shows that there is one very small section of ‘low’ risk encroaching into the site from the eastern boundary. The remaining area of the site is at no significant risk of surface water flooding.

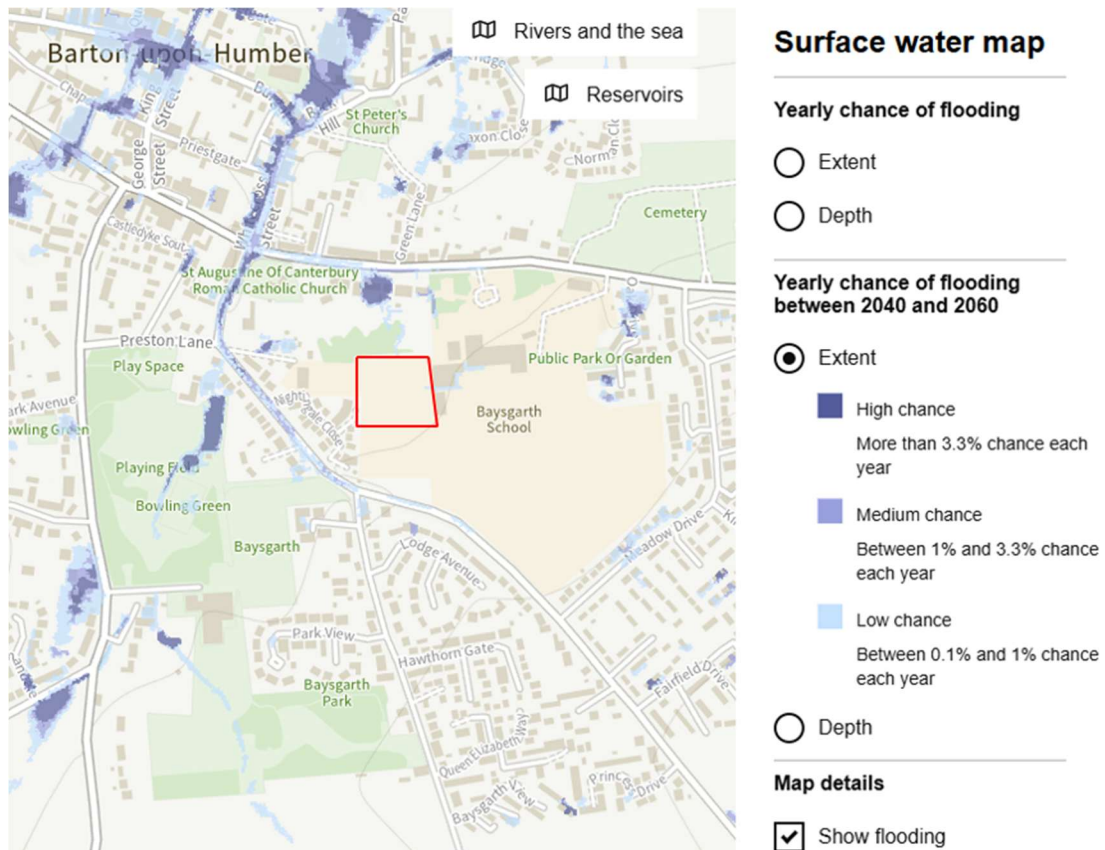


Figure 4.2: Environment Agency ‘Flood risk from surface water’ map

Surface water flooding is likely to increase as a result of climate change in a similar ratio to fluvial flooding. Increased intensity and frequency of precipitation is likely to lead to reduced infiltration and increased overland flow. Climate change guidance was updated by the EA in May 2022.

The overall risk of surface water flooding at the site is considered to be **very low** for the proposed development, and **low** for the entire site.

4.5 Flooding from groundwater

Groundwater flooding tends to occur after long periods of sustained high rainfall. Higher rainfall means more water will infiltrate into the ground and cause the water table to rise above normal levels. In low-lying areas the water table is usually at shallower depths anyway, but during very wet periods, with all the additional groundwater flowing towards these areas, the water table can rise up to the surface causing groundwater flooding.

There is no ground investigation data available for the site to confirm the geology and groundwater levels on the site. The historic borehole referenced in **Section 3.2** shows

that the groundwater level was approximately 4.5m below ground level. However, this borehole is approximately 200m west of the site, and is underlain by a different superficial geology to the site, so groundwater levels within the site could vary.

Climate change could increase the risk of groundwater flooding as a result of increased precipitation filtering into the groundwater body. This is less likely to cause a significant change to flood risk than from other sources, since groundwater flow is not as confined. It is probable that any locally perched aquifers may be more affected, but these are likely to be isolated. The change in flood risk as a result of climate change is likely to be low.

The overall groundwater flood risk is considered to be **low**.

4.6 Flooding from sewers

Flooding from artificial drainage systems occurs when flow entering a system, such as an urban storm water drainage system, exceeds its conveyance capacity, the system becomes blocked or it cannot discharge due to a high-water level in the receiving watercourse. When exceeded, the surcharged pipe work could lead to flooding from backed up manholes and gully connections.

Sewer details have been referenced from sewer record plans obtained from Anglian Water. The plans indicate that there are no sewers within the site boundary. However, there are surface water and foul sewers within the residential development to the west of the site. There is also a combined sewer network flowing to the north along Caistor Road, south of the site.

Climate change is likely to result in an increase in flooding from sewers. Increased rainfall and more frequent flooding put existing sewer and drainage systems under additional pressure resulting in the potential for more frequent surcharging and potential flooding. This would increase the frequency of local sewer flooding but would not be significant in terms of the proposed development.

The overall sewer flood risk to the site is considered to be **very low**.

4.7 Flooding from reservoirs

Flood events can occur from a sudden release of large volumes of water from reservoirs.

The EA reservoir flood map (reproduced as **Figure 4.3**) shows the largest area that might be flooded if a reservoir were to fail and release the water it holds. Since this is a prediction of a worst-case scenario, it is unlikely that any actual flood would be this large.

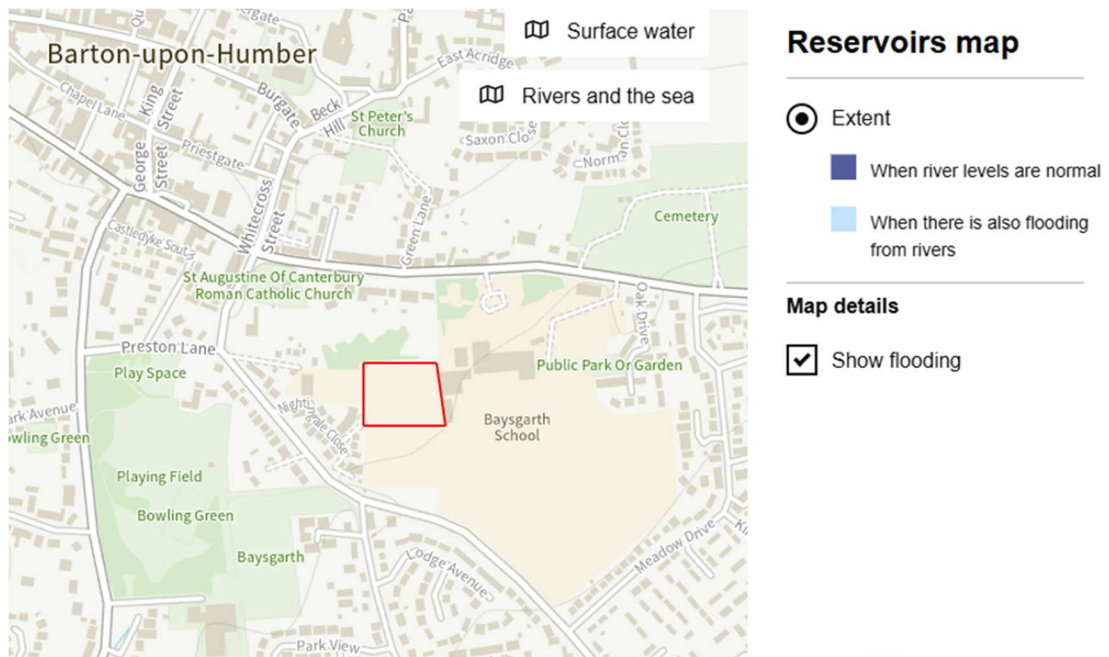


Figure 4.3: Environment Agency ‘Flood risk from reservoirs’ map

The EA mapping was updated in 2021 to demonstrate the potential maximum extent of flooding for two scenarios - a "dry day scenario" in which river levels are "normal", and a "wet day scenario" where the flooding from the reservoir coincides with flooding from rivers.

The map shows that the site is not in a location at risk of reservoir flooding from either scenario.

Reservoir flooding is extremely unlikely. There has been no loss of life in the UK from reservoir flooding since 1925. Since then reservoir safety legislation has been introduced to ensure reservoirs are maintained.

Reservoirs can be managed over time, controlling inflow/outflow of water and therefore there is the capacity to control the effects of climate change. Increased rainfall has the potential to increase base flow, but this should be minimal. It is unlikely that there will be a substantial change to the risk of flooding for this site as a result of climate change.

The resultant flood risk is considered to be **very low**.

4.8 Other sources of flooding

4.8.1 Canals

There are no Canal & River Trust owned canals within the vicinity of the site.

4.8.2 Other artificial features

No other artificial features with the potential to result in a flood risk to the site have been identified.

5 MITIGATION MEASURES AND RESIDUAL RISK

5.1 Sequential approach within application boundary

No parts of the site have been identified as being at a significant risk of flooding from any source. Therefore, there is no requirement to apply the sequential approach.

5.2 Overland flood flow

No overland flow routes have been identified across the site from any source of flooding.

5.3 Finished design levels

As this site is unlikely to be affected by fluvial, surface water or any other sources of flooding there is no need to incorporate any raised levels into the design.

5.4 Safe access/egress

As the site is outside of the 1 in 100 year plus climate change fluvial flood extent and is not identified as being at significant risk of flooding from other sources, safe access and egress will be available for the design flood event.

6 DRAINAGE

6.1 Proposed drainage

There is no formal drainage being proposed for this development. The tarmac test track will allow for surface water to runoff into the surrounding grass, as per the existing scenario.

The proposed development will increase the impermeable area by a small amount, causing negligible increase in runoff volumes.

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7 PLANNING POLICY CONTEXT

7.1 National planning policy

Section 14 of the NPPF details the overarching requirements relating to flood risk for any development. The key message is that inappropriate development in areas at risk of flooding should be avoided by directing development away from areas at highest risk (whether existing or future). Where development is necessary in such areas, the development should be made safe for its lifetime without increasing flood risk elsewhere.

In areas at risk of flooding, the NPPF requires that the following criteria are met:

- a) within the site, the most vulnerable development is located in areas of lowest flood risk, unless there are overriding reasons to prefer a different location;
- b) the development is appropriately flood resistant and resilient such that, in the event of a flood, it could be quickly brought back into use without significant refurbishment;
- c) it incorporates sustainable drainage systems, unless there is clear evidence that this would be inappropriate;
- d) any residual risk can be safely managed; and
- e) safe access and escape routes are included where appropriate, as part of an agreed emergency plan.

The PPG supports the NPPF and provides further advice regarding the assessment of flood risk and the application of the Sequential and Exception Tests.

7.1.1 Land use vulnerability

Table 2 of the PPG indicates the compatibility of various land uses in each flood zone, dependent on their vulnerability to flooding. **Table 7.1** below is reproduced from Table 2 of PPG.

Table 7.1: Flood risk vulnerability and flood zone ‘compatibility’

Flood Risk Vulnerability Classification		Essential Infrastructure	Water Compatible	Highly Vulnerable	More Vulnerable	Less Vulnerable
Flood Zone	Zone 1	Appropriate	Appropriate	Appropriate	Appropriate	Appropriate
	Zone 2	Appropriate	Appropriate	Exception Test Required	Appropriate	Appropriate
	Zone 3a	Exception Test Required	Appropriate	Should not be permitted	Exception Test Required	Appropriate

Flood Risk Vulnerability Classification		Essential Infrastructure	Water Compatible	Highly Vulnerable	More Vulnerable	Less Vulnerable
	Zone 3b functional floodplain	Exception Test Required	Appropriate	Should not be permitted	Should not be permitted	Should not be permitted

With reference to Annex 3 of the NPPF, the proposed development, based on its amenity use, is classed as ‘water compatible’. This classification of development is appropriate for areas within Flood Zone 1 and therefore appropriate for the subject site.

7.1.2 Sequential Test

The Sequential Test aims to direct new development to areas with the lowest probability of flooding. The site has been identified as located within Flood Zone 1 with no significant flooding issues from any sources.

7.1.3 Exception Test

In accordance with **Table 7.1**, there is no requirement to apply the Exception Test for a ‘water compatible’ development within Flood Zone 1.

8 CONCLUSIONS AND RECOMMENDATIONS

This FRA complies with the NPPF and Planning Practice Guidance and demonstrates that flood risk from all sources has been considered in the proposed development. It is also consistent with the Local Planning Authority requirements with regard to flood risk.

The proposed development site lies in an area designated by the EA as Flood Zone 1, and is outlined to have a chance of flooding of less than 1 in 1,000 (<0.1%) in any year from fluvial sources. The site also has no risk of flooding from any other source.

The proposed development is classified as ‘water compatible’ and therefore considered appropriate within Flood Zone 1 without application of the Exception Test.

This FRA has considered multiple sources of flooding and concluded the following:

Table 8.1: Flood risk summary

Source	Level of risk	Mitigation
Fluvial	Very Low	No mitigation required.
Tidal	Very Low	No mitigation required.
Surface water	Very Low – Development Area Low – Site Area	No mitigation required.
Groundwater	Low	No mitigation required.
Sewers	Very Low	No mitigation required.
Reservoir	Very Low	No mitigation required.
Other sources	Very Low	No other sources of flood risk. No mitigation required.

Overall, taking into account the above points, the development of the site should not be precluded on flood risk grounds.

APPENDIX A

RSK GROUP SERVICE CONSTRAINTS

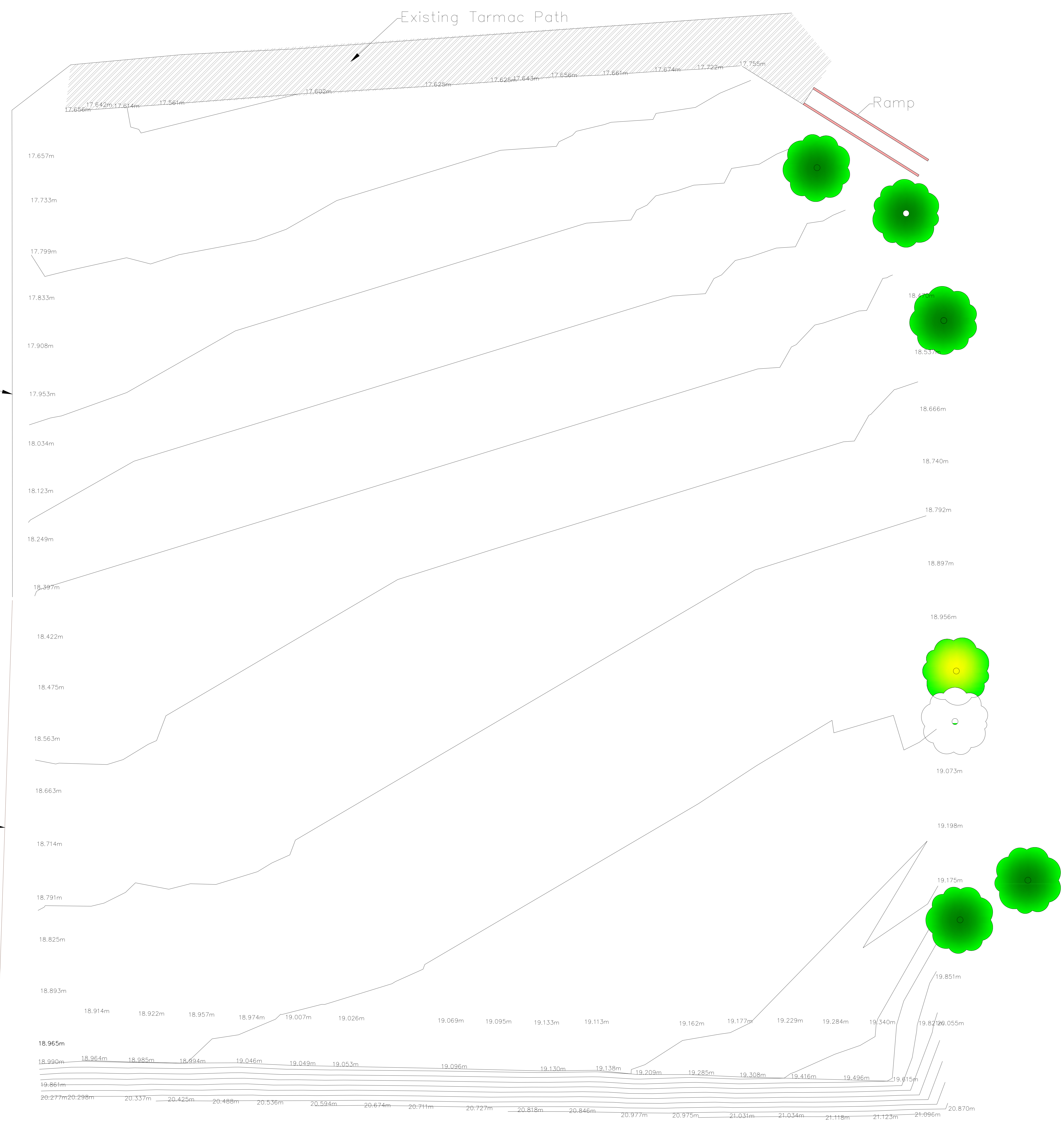
1. This report and the drainage design carried out in connection with the report (together the "Services") were compiled and carried out by RSK LDE Ltd (RSK) for Baysgarth School (the "client") in accordance with the terms of a contract between RSK and the "client" dated March 2025. The Services were performed by RSK with the skill and care ordinarily exercised by a reasonable civil engineer at the time the Services were performed. Further, and in particular, the Services were performed by RSK taking into account the limits of the scope of works required by the client, the time scale involved and the resources, including financial and manpower resources, agreed between RSK and the client.
2. Other than that expressly contained in paragraph 1 above, RSK provides no other representation or warranty whether express or implied, in relation to the Services.
3. Unless otherwise agreed in writing, the Services were performed by RSK exclusively for the purposes of the client. RSK is not aware of any interest of or reliance by any party other than the client in or on the Services. Unless expressly provided in writing, RSK does not authorise, consent or condone any party other than the client relying upon the Services. Should this report or any part of this report, or otherwise details of the Services or any part of the Services be made known to any such party, and such party relies thereon that party does so wholly at its own and sole risk and RSK disclaims any liability to such parties. Any such party would be well advised to seek independent advice from a competent environmental consultant and/or lawyer.
4. It is RSK's understanding that this report is to be used for the purpose described in the introduction to the report. That purpose was a significant factor in determining the scope and level of the Services. Should the purpose for which the report is used, or the proposed use of the site change, this report may no longer be valid and any further use of or reliance upon the report in those circumstances by the client without RSK's review and advice shall be at the client's sole and own risk. Should RSK be requested to review the report after the date of this report, RSK shall be entitled to additional payment at the then existing rates or such other terms as agreed between RSK and the client.
5. The passage of time may result in changes in site conditions, regulatory or other legal provisions, technology or economic conditions which could render the report inaccurate or unreliable. The information and conclusions contained in this report should not be relied upon in the future without the written advice of RSK. In the absence of such written advice of RSK, reliance on the report in the future shall be at the client's own and sole risk. Should RSK be requested to review the report in the future, RSK shall be entitled to additional payment at the then existing rate or such other terms as may be agreed between RSK and the client.
6. The observations and conclusions described in this report are based solely upon the Services, which were provided pursuant to the agreement between the client and RSK. RSK has not performed any observations, investigations, studies or testing not specifically set out or required by the contract between the client and RSK. RSK is not liable for the existence of any condition, the discovery of which would require performance of services not otherwise contained in the Services. For the avoidance of doubt, unless otherwise expressly referred to in the introduction to this report, RSK did not seek to evaluate the presence on or off the site of asbestos, electromagnetic fields, lead paint, heavy metals, radon gas or other radioactive or hazardous materials.
7. The Services are based upon RSK's observations of existing physical conditions at the site gained from a walk-over survey of the site together with RSK's interpretation of information including documentation, obtained from third parties and from the client on the history and usage of the site. The Services are also based on information and/or analysis provided by independent testing and information services or laboratories upon which RSK was reasonably entitled to rely. The Services clearly are limited by the accuracy of the information, including documentation, reviewed by RSK and the observations possible at the time of the walk-over survey. Further RSK was not authorised and did not attempt to independently verify the accuracy or completeness of information, documentation or materials received from the client or third parties, including laboratories and information services, during the performance of the Services. RSK is not liable for any inaccurate information or conclusions, the discovery of which inaccuracies required the doing of any act including the gathering of any information which was not reasonably available to RSK and including the doing of any independent investigation of the information provided to RSK save as otherwise provided in the terms of the contract between the client and RSK.
8. The phase II or intrusive environmental site investigation aspects of the Services is a limited sampling of the site at pre-determined borehole and soil vapour locations based on the operational configuration of the site. The conclusions given in this report are based on information gathered at the specific test locations and can only be extrapolated to an undefined limited area around those locations. The extent of the limited area depends on the soil and groundwater conditions, together with the position of any current structures and underground facilities and natural and other activities on site. In addition chemical analysis was carried out for a limited number of parameters [as stipulated in the contract between the client and RSK] [based on an understanding of the available operational and historical information,] and it should not be inferred that other chemical species are not present.
9. Any site drawing(s) provided in this report is (are) not meant to be an accurate base plan, but is (are) used to present the general relative locations of features on, and surrounding, the site. Features (boreholes, trial pits etc) annotated on site plans are not drawn to scale but are centred over the appropriate location. Such features should not be used for setting out and should be considered indicative only.

APPENDIX B TOPOGRAPHIC SURVEY

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Metal Palisade Boundary Fence

Wooden Boundary Fence



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Rev	Date	By	Description
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PROJECT
Baysgarth School Test Track

TITLE
Topographical Survey

CLIENT

DRAWN BY	CHECKED BY	DATE
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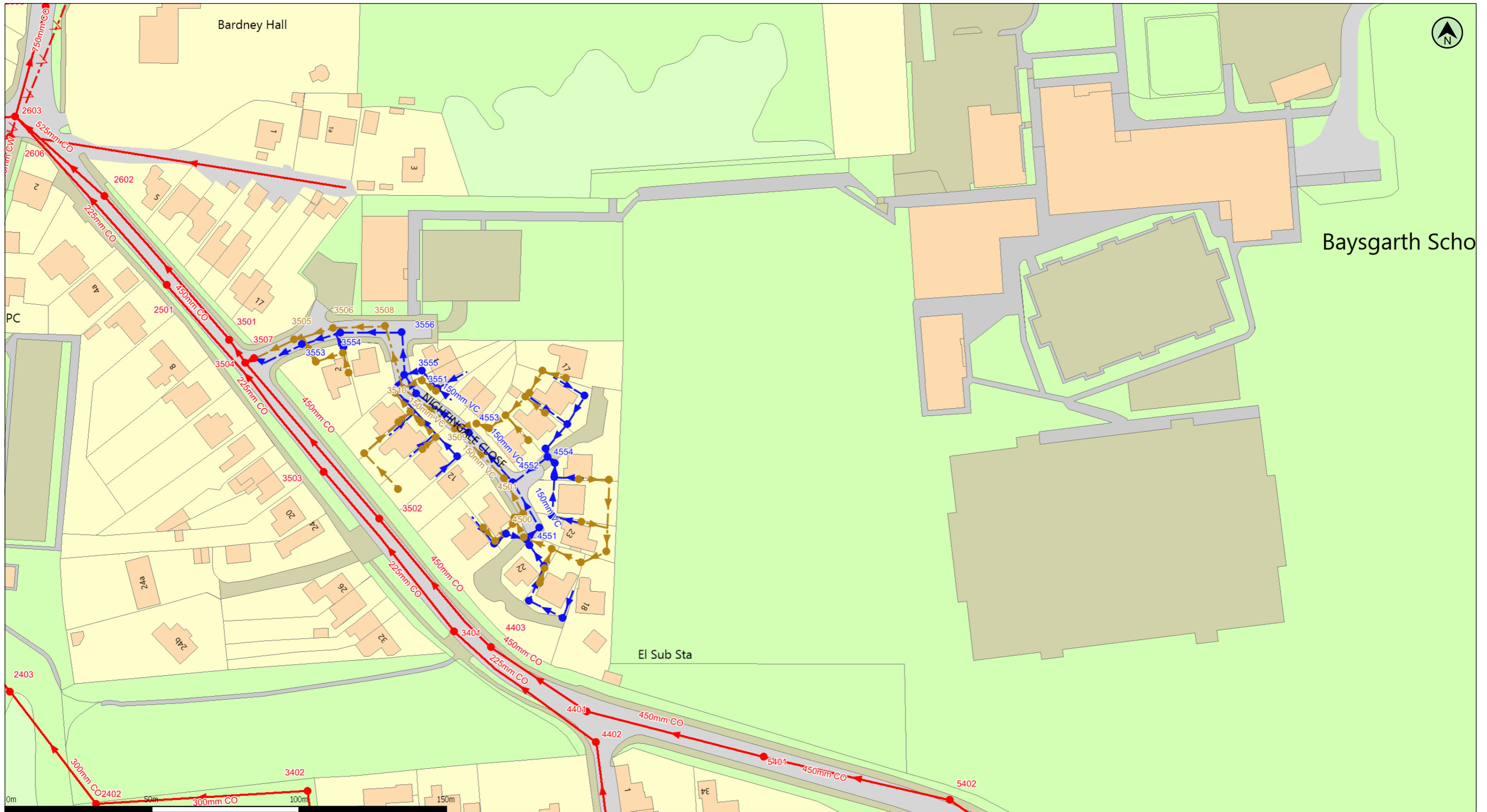
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DRAWING NUMBER	REV
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APPENDIX C

ANGLIAN WATER WATER SEWER RECORDS

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(c) Crown copyright and database rights 2025 Ordnance Survey AC0000813445 Date: 17/04/25 Scale: 1:1250 Map Centre: 503493,421546 Data updated: 31/03/25 Our Ref: 1747374 - 1 Wastewater Plan A3
 Powered by digdat

This plan is provided by Anglian Water pursuant its obligations under the Water Industry Act 1991 sections 198 or 199. It must be used in conjunction with any search results attached. The information on this plan is based on data currently recorded but position must be regarded as approximate. Service pipes, private sewers and drains are generally not shown. Users of this map are strongly advised to commission their own survey of the area shown on the plan before carrying out any works. The actual position of all apparatus MUST be established by trial holes. No liability whatsoever, including liability for negligence, is accepted by Anglian Water for any error or inaccuracy or omission, including the failure to accurately record, or record at all, the location of any water main, discharge pipe, sewer or disposal main or any item of apparatus. This information is valid for the date printed. This plan is produced by Anglian Water Services Limited (c) Crown copyright and database rights 2025 Ordnance Survey AC0000813445. This map is to be used for the purposes of viewing the location of Anglian Water plant only. Any other uses of the map data or further copies is not permitted. This notice is not intended to exclude or restrict liability for death or personal injury resulting from negligence.

Foul Sewer				
Surface Sewer		Outfall*		Sewage Treatment Works
Combined Sewer				Public Pumping Station
Final Effluent		Inlet*		
Rising Main*				Decommissioned Pumping Station
Private Sewer*		Manhole*		
Decommissioned Sewer*				

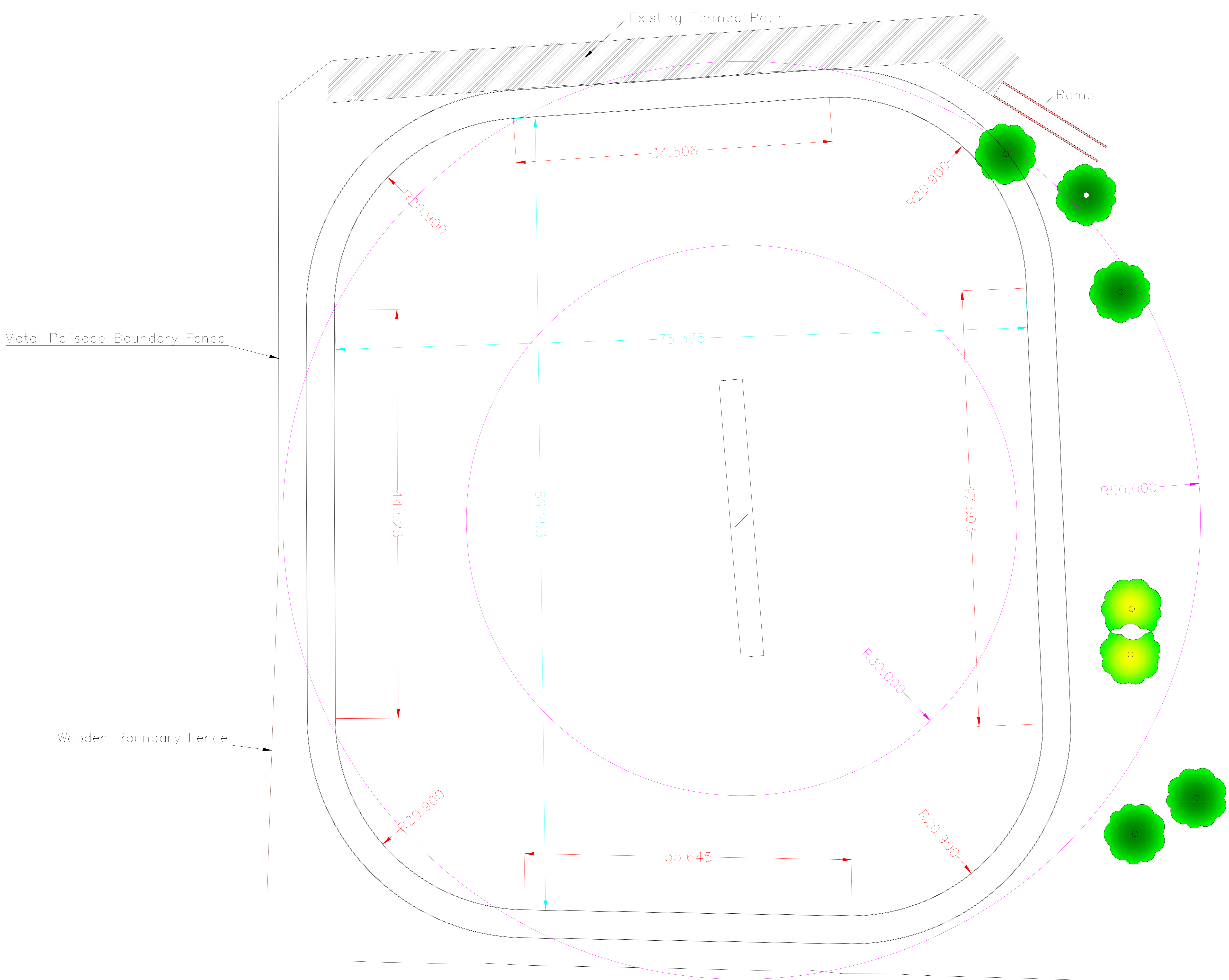
*(Colour denotes effluent type)

hgeddes@rsk.co.uk
681732



APPENDIX D DEVELOPMENT PROPOSALS

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Rev	Date	By	Description
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PROJECT
Baysgarth School Test Track

TITLE
Track General Arrangement

CLIENT

DRAWN BY	CHECKED BY	DATE
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SCALE (@ A1)	PROJECT NUMBER
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DRAWING NUMBER	REV
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APPENDIX E

ENVIRONMENT AGENCY CORRESPONDENCE

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Hannah Geddes

From: Lincolnshire and Northamptonshire Enquiries <no.reply@ea.ecase.co.uk>
Sent: 26 March 2025 12:07
To: Hannah Geddes
Subject: Request for information - Ref: EIR2025/01839
Attachments: EIR202501839_Product 1.pdf

CAUTION: This email originated from outside the Organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Hannah Geddes,

I am writing in response to your request for information, received 26 March 2025, regarding Baysgarth School 681732.

We respond to requests for information under the Freedom of Information Act 2000 (FOI) and Environmental Information Regulations 2004 (EIR).

The information is attached.

The information on Flood Zones in the area relating to this address is as follows:

The property is in an area located within Flood Zone 1 shown on our Flood Map for Planning (Rivers and Sea) and therefore the data we hold is limited.

Note - This information relates to the area that the above named property is in and is not specific to the property itself.

Further details about the Environment Agency information supplied can be found on the GOV.UK website:

<https://www.gov.uk/browse/environment-countryside/flooding-extreme-weather>

If you have requested this information to help inform a development proposal, then you should note the information on GOV.UK on the use of Environment Agency Information for Flood Risk Assessments

<https://www.gov.uk/planning-applications-assessing-flood-risk>

<https://www.gov.uk/government/publications/pre-planning-application-enquiry-form-preliminary-opinion>

You may find this document helpful on surface water flooding

<https://www.gov.uk/government/publications/flood-risk-maps-for-surface-water-how-to-use-the-map> but if you do have concerns regarding surface water flooding, this will be addressed by your local authority.

Please refer to the [Open Government Licence](#) which explains the permitted use of this information.

Rights of appeal

If you are not satisfied with our decision, you can contact us within two calendar months to ask for the decision to be reviewed. We will then conduct an internal review of our response to your request and give you our decision in writing within 40 working days.





If you are not satisfied with the outcome of the internal review, you can then make an appeal to the Information Commissioner Office, the statutory regulator for EIR and FOI. The address is: Information Commissioner's Office, Wycliffe House, Water Lane, Wilmslow, Cheshire. SK9 5AF.

Tel: 0303 123 1113 (local rate) or 01625 545 745 (national rate) | Fax: 01625 524 510 Email: casework@ico.org.uk | Website: www.ico.org.uk

Yours sincerely,

Nicola Stone

Legend

-  Defences
-  Flood Storage Areas
-  Flood Zone 3
-  Flood Zone 2

