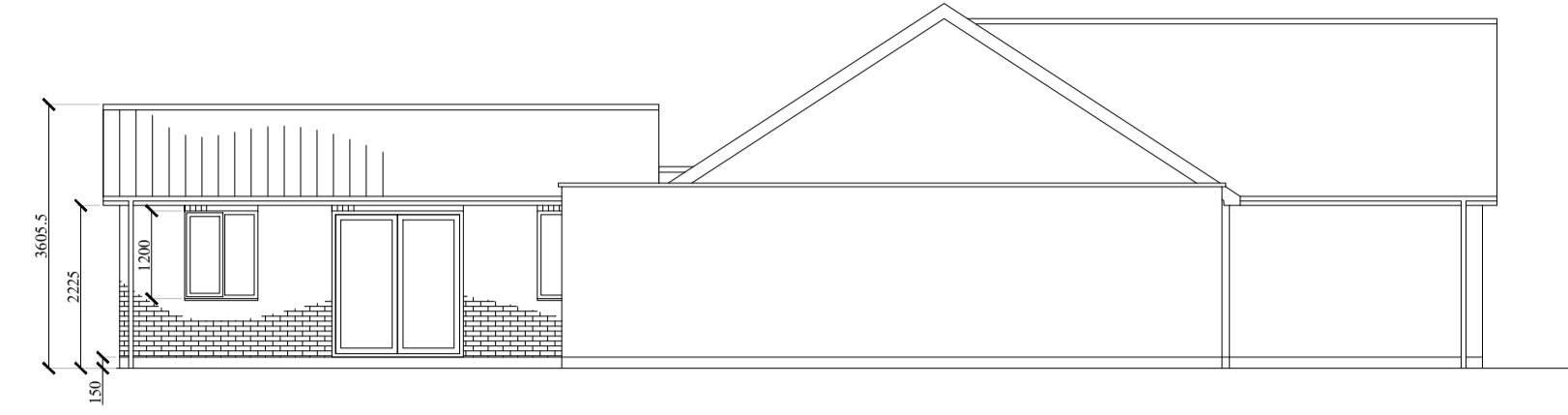


Insulation to Warm deck roof to be 150mm thick "Celotex Spacesaver" 150 between rafters, with 150mm "Celotex Spacesaver" above joists, underdrawn with 12.5mm thick plasterboard.

**FRONT ELEVATION**  
Scale 1 : 100



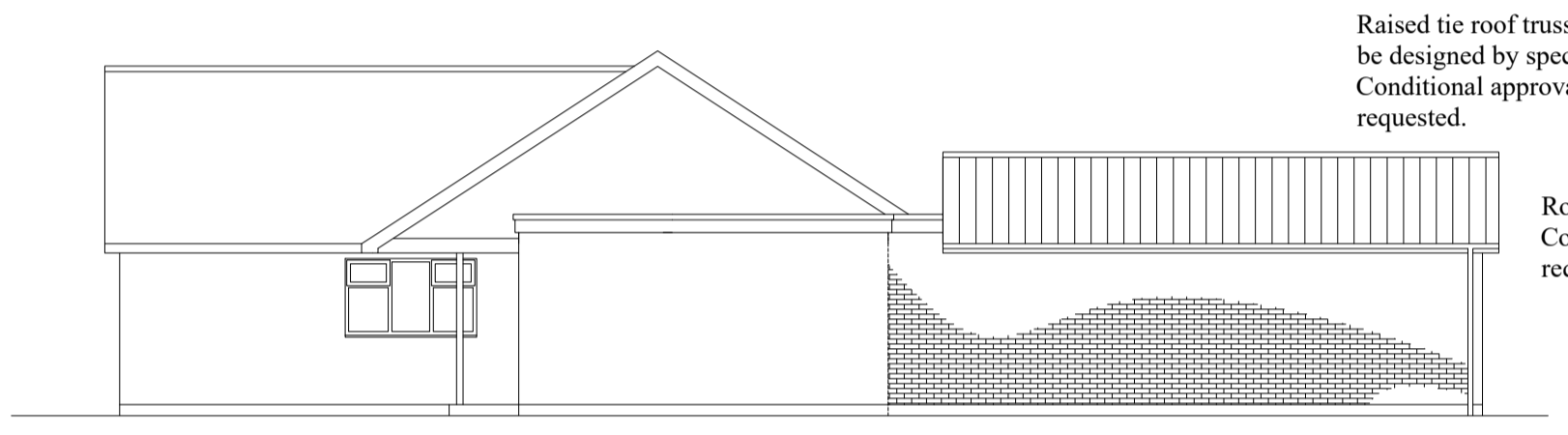
Windows/doors to match main dwelling

**LH ELEVATION**  
Scale 1 : 100



Allow for investigations for ground conditions. Foundations to be taken to a minimum depth to be 1.0m in clay sub-strata. Structural engineer to be consulted. Conditional approval requested.

**REAR ELEVATION**  
Scale 1 : 100

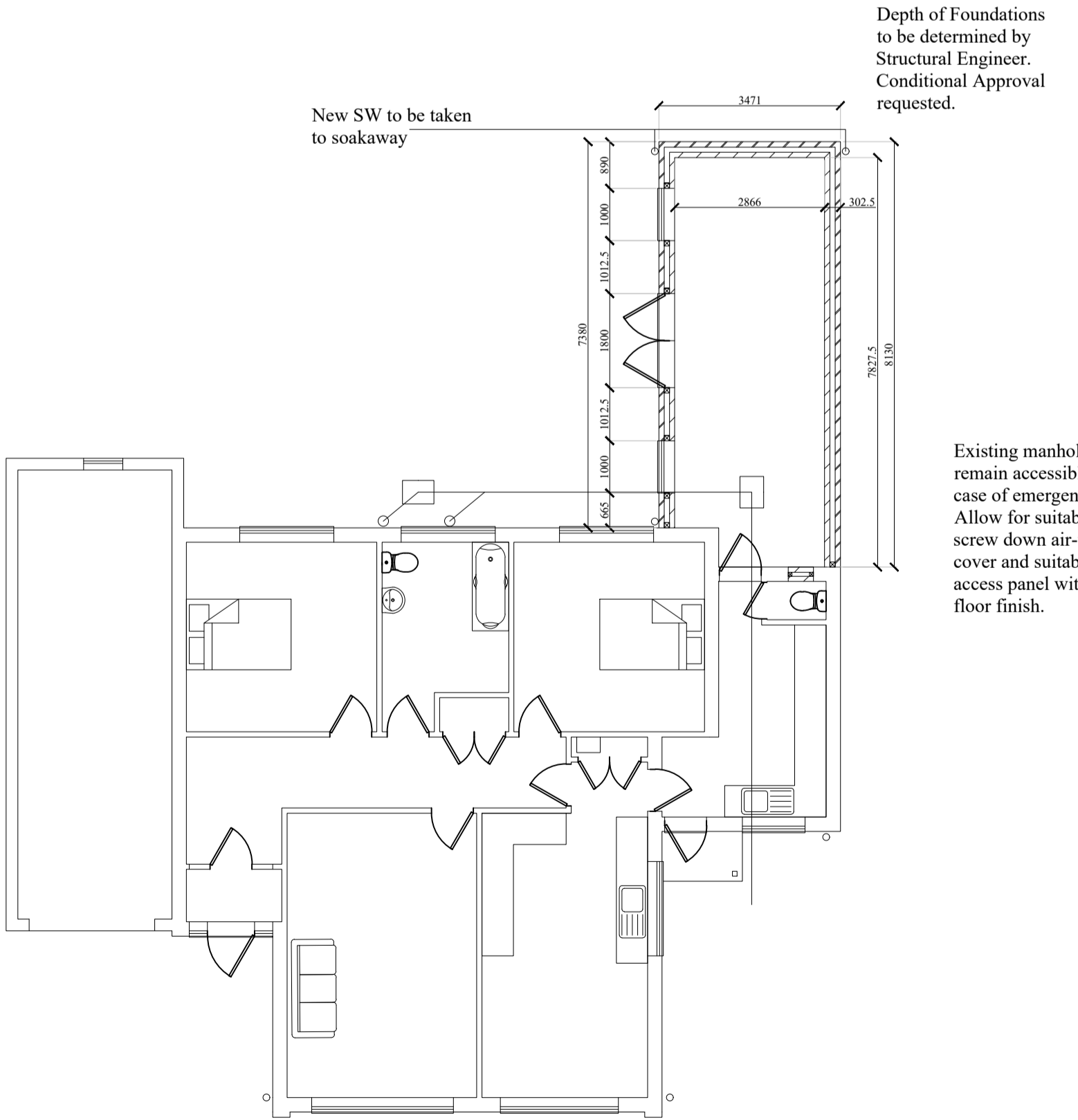


Raised tie roof trusses to be designed by specialist. Conditional approval requested.

Roof tiles to match existing. Conditional approval requested.

Provide Code 4 lead flashing and cavity tray at abutment between extension roof & existing wall

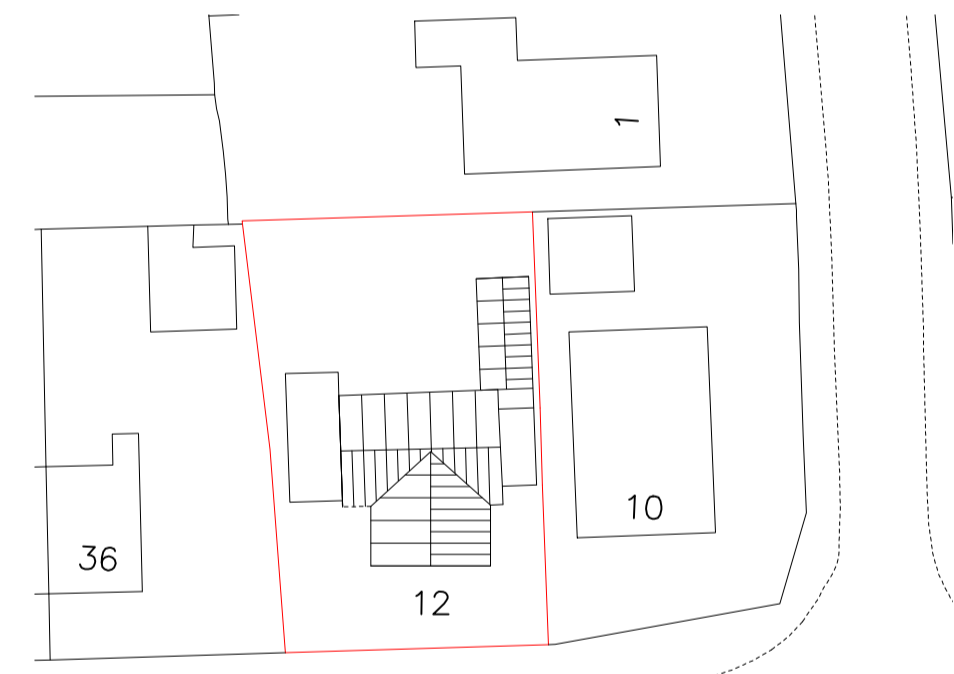
**RH ELEVATION**  
Scale 1 : 100



Depth of Foundations to be determined by Structural Engineer. Conditional Approval requested.

Existing manhole to remain accessible in case of emergency. Allow for suitable screw down air-tight cover and suitable access panel within floor finish.

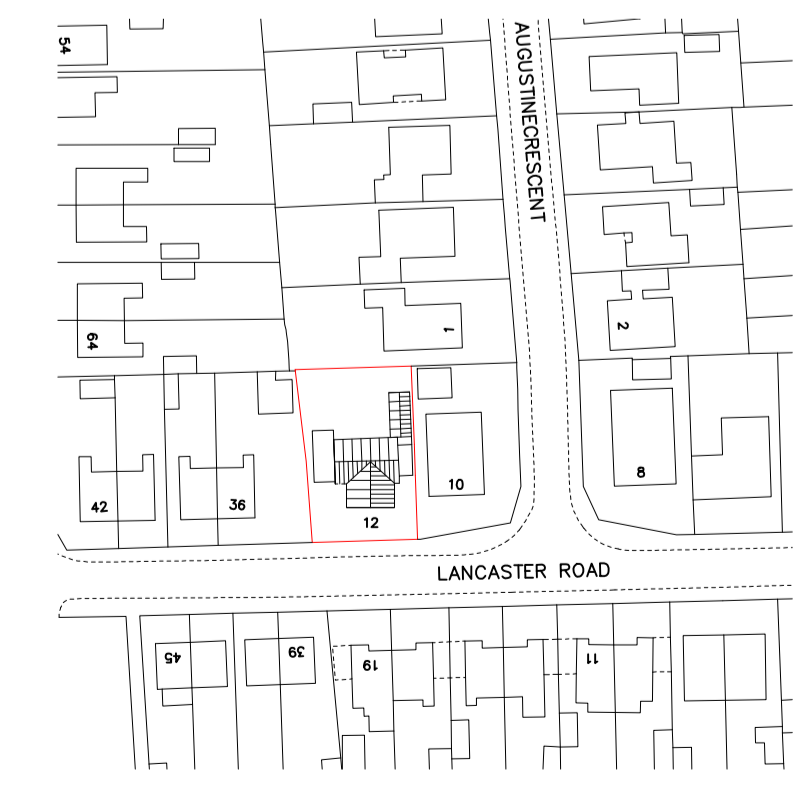
**GROUND FLOOR PLAN**  
Scale 1 : 100



LANCASTER RD

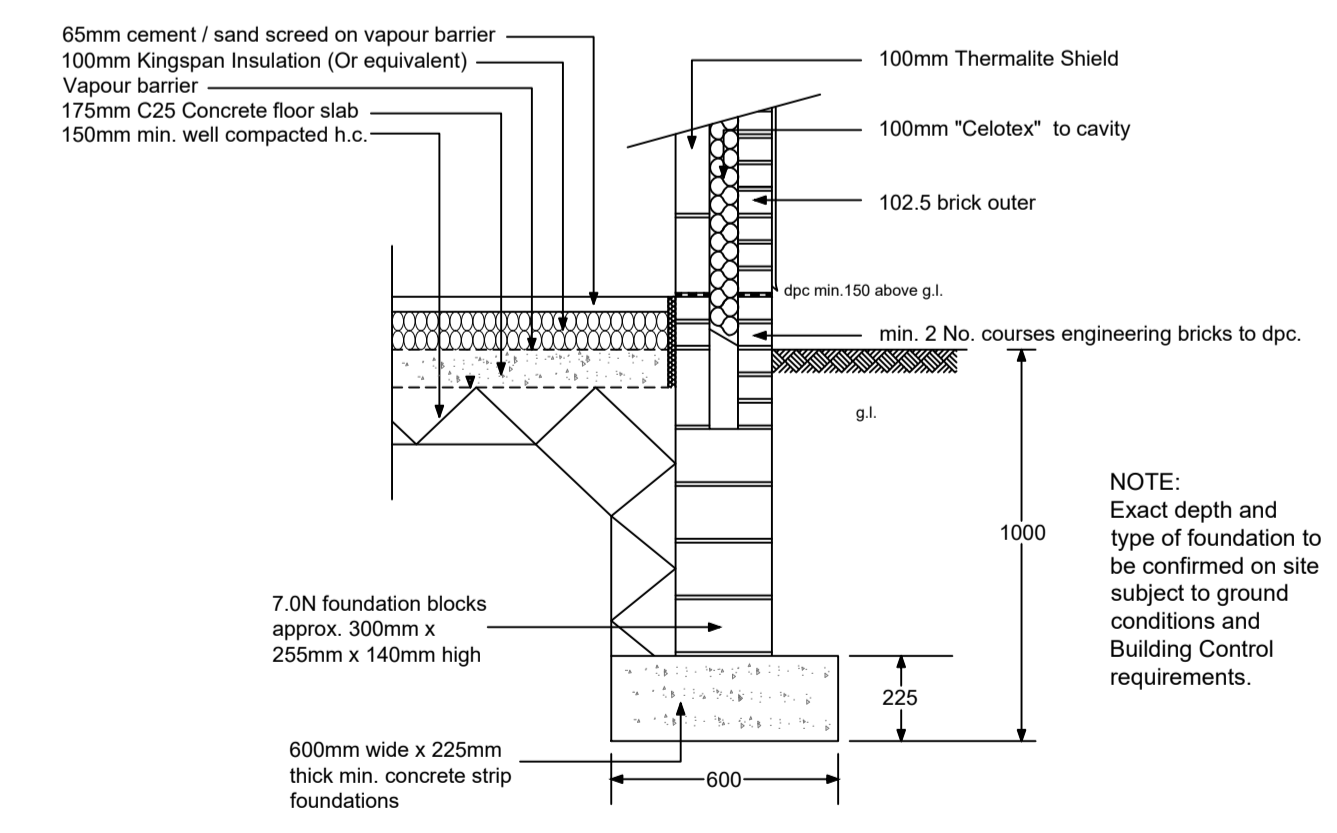
NORTH

**BLOCK PLAN**  
Scale 1 : 500



**SITE LOCATION PLAN**  
Scale 1 : 1250

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**Typical section - foundation and ground floor**  
(1:50)

Masonry work to match existing, including detail brickwork, as close as is practicable. To be agreed with Client and LABC/Planning Department.  
Windows to match existing, in colour and style, as far as is practicable or as decided by Client and agreed with L.A.  
Contractor to accurately measure up on site prior to ordering of any materials  
Drawings to be read strictly in accordance with Building specification. Any alterations are to be agreed with Kikopela Building Design and the Local Authority Planning Dept./Building Control prior to implementation.

**Kikopela Building Design**

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client:  
**Ms N Coggan**

project:  
**Single Storey Extension  
At - 12 Lancaster Road, Ashby**

drawing title:  
**Proposed Plans & Elevations**

drawn by: CJP	date: 06.08.2025	scale: As Shown
drawing No: <b>NC.01/25/2</b>	rev: <b>A</b>	