

FLOOD RISK ASSESSMENT

FOR

PROPOSED INDUSTRIAL DEVELOPMENT

AT

**PLOT 24, FALKLAND WAY,
BARTON-UPON-HUMBER**

ON BEHALF OF

VENTURE BUSINESS SPACE LTD

Project ref: 29459/FRA/DJC
Date First Issued: 30th June 2022
Issue: 02
Revision Date: 15th July 2022
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Project Manager
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*Report contains Environment Agency information © Environment Agency and database right
Report contains material based upon records provided by British Geological Survey (NERC)
Report contains images from google earth ©Google*

Document Revision Box			
Revision	Date	Description	Author
01	30 th June 2022	First Issue	DJC
02	15 th July 2022	Amended to Suit Comments	DJC

1.0 Introduction

GGP Consult has been commissioned by Venture Business Park Space Ltd to prepare a flood risk assessment for the proposed industrial unit development at Plot 24, Falkland Way, Barton-Upon-Humber.

The purpose of this assessment is to demonstrate compliance with local planning policy as outlined within the North Lincolnshire Council Strategic Flood Risk Assessment (SFRA) and the National Planning Policy Framework (NPPF).

This assessment will highlight flood risk to the site and detail appropriate measures to mitigate the risk.

2.0 Description of Existing Site

The existing site is entirely greenfield and located within an industrial area to the north east of Barton-Upon-Humber.

The existing site plan is included in Appendix I. The site is approximately 5,913m² (0.5913ha) in area.

The OS National grid reference for the site is approximately TA 03753 22699.



Google Earth Site Plan Extract

A topographical survey has been undertaken within the site which identifies an average site level of approximately 3.2m AOD.

Refer to Appendix II for the topographical survey.

A watercourse is present along the western boundary, with an approximate invert level of 2.820m AOD.

3.0 **Proposed Development**

It is proposed to develop 2 industrial units, capable of subdivision into 5 segregated units, with an accompanying car park and service yard. This has an approximate impermeable area of 4,671m².

Refer to Appendix III for the proposed site plan.

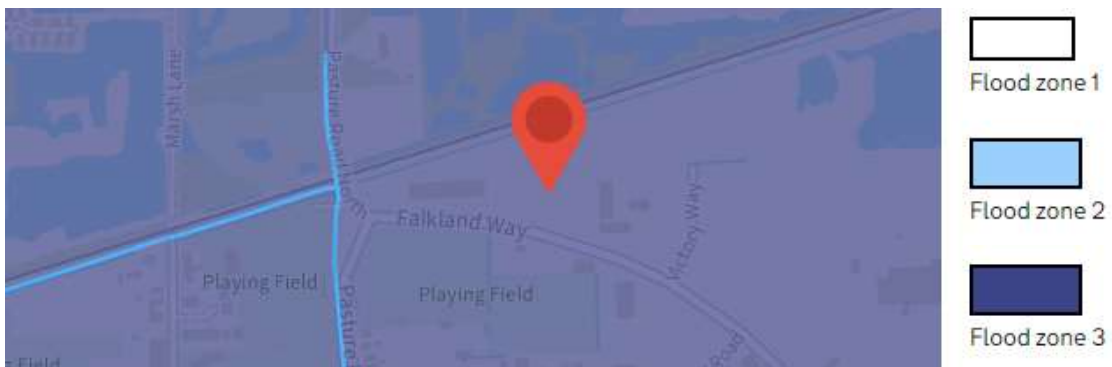
The proposed development is in a known area of flood risk as outlined by the Environment Agency's flood risk zone map.

A level 1 and 2 Strategic Flood Risk Assessment (SFRA) has been prepared for North Lincolnshire Council.

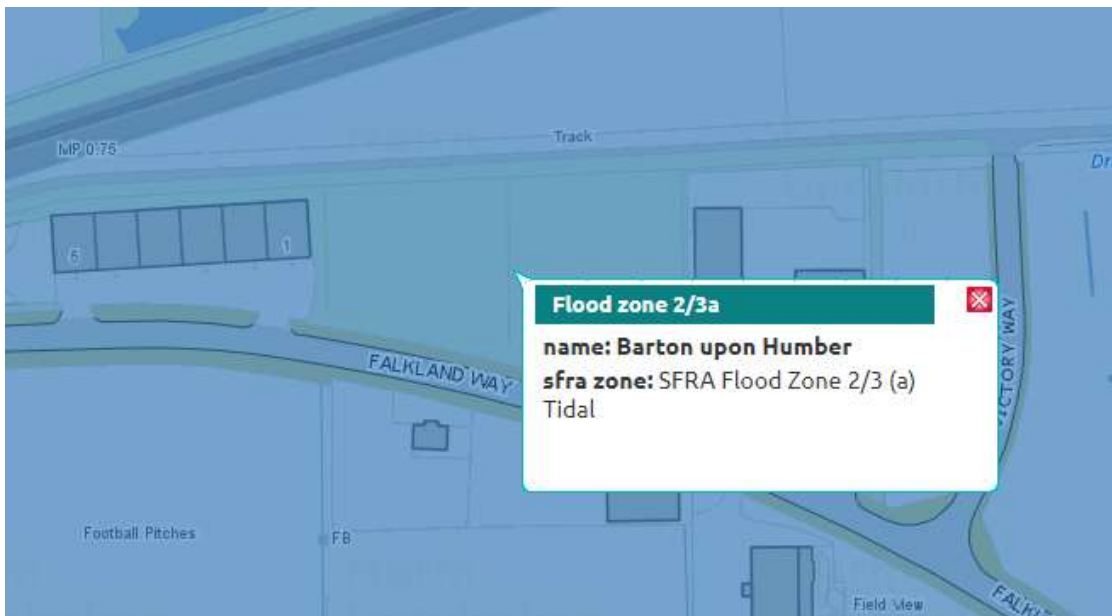
With reference to the latest SFRA and Environment Agency flood risk maps, the proposed development is located within flood zone 3.

Therefore, **Flood Zone 3** will be adopted for the assessment.

Table 1 of the NPPF technical guide states all development proposals in this zone should be accompanied by a detailed flood risk assessment.



Environment Agency Flood Risk Zone Map



North Lincs SFRA Flood Zones Map

This means the development site is at 1% or greater annual probability of flooding from rivers or 0.5% or greater annual probability of flooding from the sea.

4.0 Flood Risk Vulnerability Classification of the Proposed Development

With reference to table 2 of the NPPF technical guide, the proposed development of an industrial unit classifies as 'Less Vulnerable'.

With reference to table 3 of the technical guide, developments with 'Less Vulnerable' classifications within flood zone 3a should be permitted.

Table 3: Flood risk vulnerability and flood zone 'compatibility'

Flood risk vulnerability classification (see table 2)		Essential infrastructure	Water compatible	Highly vulnerable	More vulnerable	Less vulnerable
Flood zone (see table 1)	Zone 1	✓	✓	✓	✓	✓
	Zone 2	✓	✓	Exception Test required	✓	✓
	Zone 3a	Exception Test required	✓	✗	Exception Test required	✓
	Zone 3b functional floodplain	Exception Test required	✓	✗	✗	✗

Key: ✓ Development is appropriate.
 ✗ Development should not be permitted.

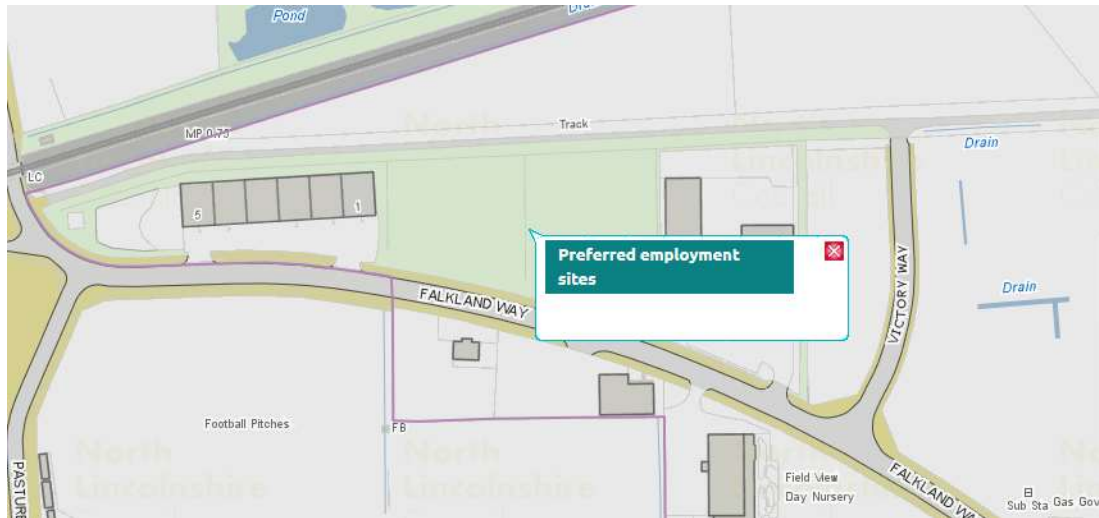
In accordance with the North Lincolnshire SFRA, developments located within flood zone 3 should be accompanied with a flood risk assessment.

5.0 **Sequential Test**

In accordance with the North Lincolnshire SFRA, developments within flood zone 3 should undergo a sequential test.

The purpose of a sequential test is to steer developments into an area of lower flood risk.

As shown in the below extract, the development site is designated within the local plan for 'employment sites'.



North Lincs Local Plan Map

In accordance with Policy DQE5 of the NLC Local Plan, a sequential test is not required for sites allocated within the local plan.

Additionally, there is no land within the local plan assigned for employment developments which is in a reduced area of flood zone, therefore, the proposed site is acceptable.

The Sequential Test is Therefore Passed

6.0 **Flood Risk**

As part of the production of the SFRA for the North Lincolnshire Council, flood risk from numerous sources have been modelled and subsequently used to establish flood risk.

Modelling outputs/mapping from the SFRA are detailed within the North Lincolnshire online interactive map. This will be used to assess flood risk to the development, along with Environment Agency flood risk data.

The flood risk to the site can be divided into 5 main elements.

1. Fluvial Flooding
2. Fluvial Breach
3. Pluvial Flooding
4. Reservoir Flooding
5. Historic Flooding
6. Sewer Flooding
7. Groundwater Flooding

The following assessment will detail flood risk to the site in the above order.

6.1 Fluvial Flooding

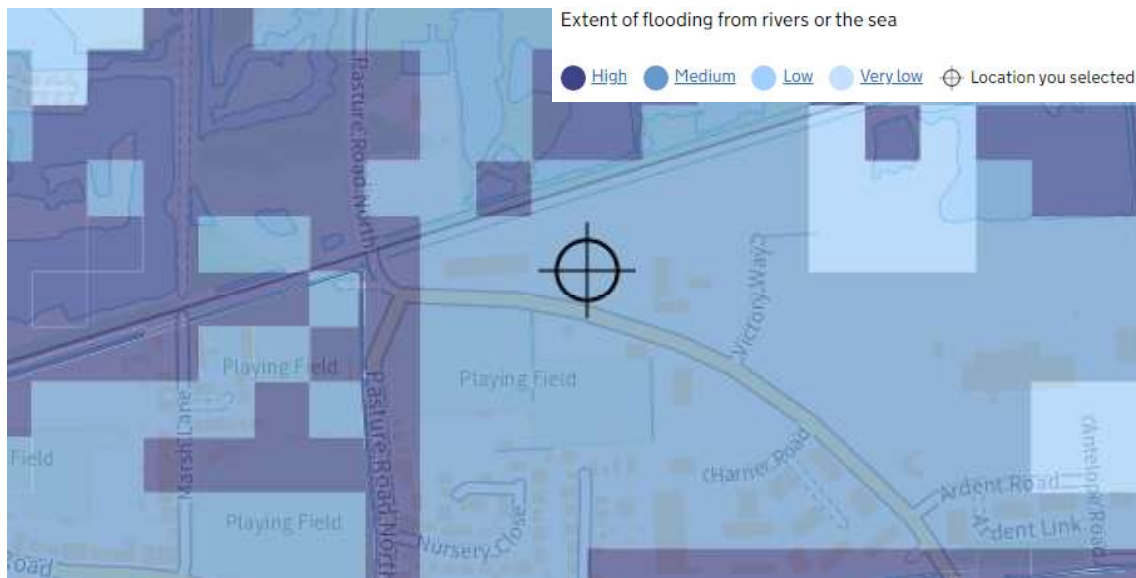
The River Humber is located approximately 0.8km to the north of the site. The Barton Haven watercourse is identified as a statutory main river by the Environment Agency and is located approximately 170m to the west of the site, running adjacent to Pasture Road North. This watercourse flows north into the River Humber.

Fluvial flood, as identified within the North Lincolnshire maps, shows the entire site to be within fluvial flooding zone 3.



North Lincs SFRA Rivers, Sea and Estuary Risk Zone Map

Additional Environment Agency flood risk maps identify the site as being at medium risk of fluvial flooding.



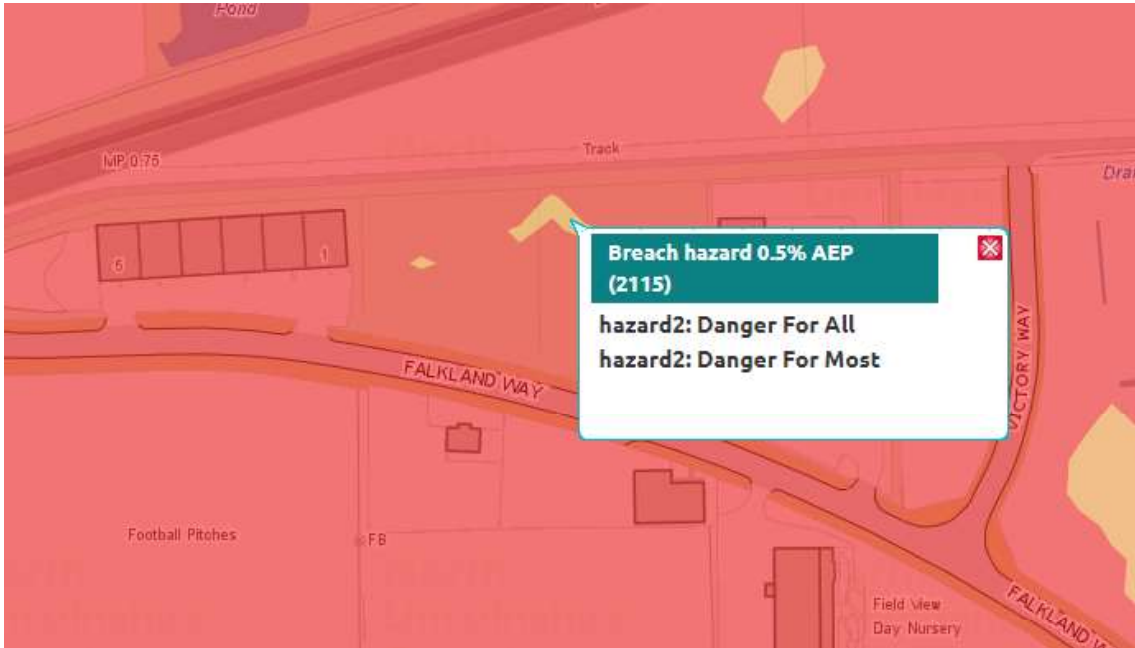
Environment Agency Fluvial Flood Risk Map

This means the site has an annual probability of between 1% and 3.3% from fluvial flooding, without the consideration of flood defences. With consideration of flood defences, the risk of flooding will be significantly reduced.

Therefore, the site risk from fluvial flooding is considered moderate.

6.2 Fluvial Breach

The Environment Agency have modelled the theoretical tidal breach depths and hazards for the 0.5% AEP within North Lincolnshire. The tidal breach map for the development site is shown below.

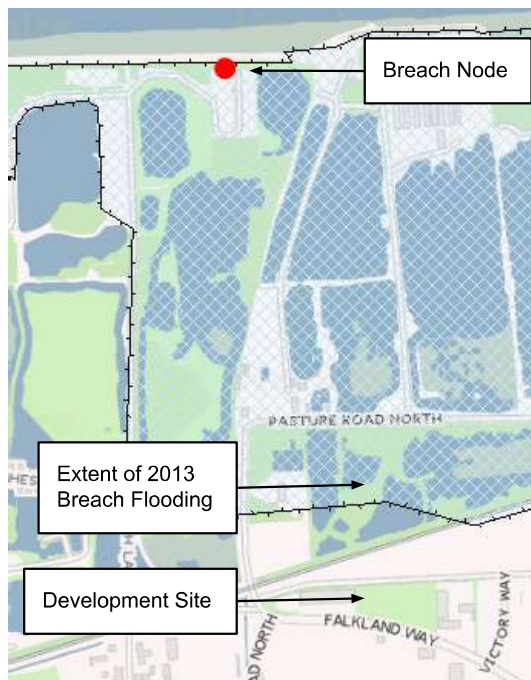


Environment Agency Tidal Breach Hazard Map

As shown above, the site falls within two hazard classifications, 'Danger For All' and 'Danger For Most'. The site topography is relatively flat, therefore, it can be assumed that the site falls on the border of both classifications.

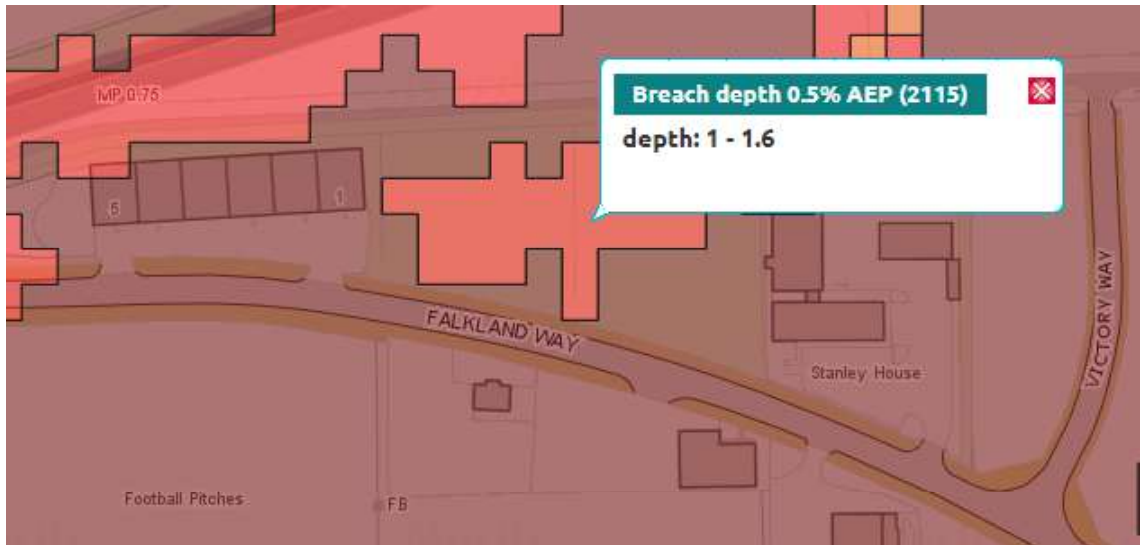
For the purpose of this assessment, the site classification will be taken as 'Danger For Most'.

The locations of the tidal breach points are shown below. The closest breach node is located 800m directly north of the site.



Environment Agency Tidal Breach Point Map

The theoretical tidal breach depth map for the development site is shown below.



Environment Agency Tidal Breach Depth Map

As shown above, the site is located within two theoretical depth categories, 1.0m - 1.6m and 1.6m+. As the development site has a relatively flat topography and mostly classifies within the 1.0m-1.6m, the development is deemed to be at theoretical risk of depths between 1.0m-1.6m.

As the average site level is 3.2m AOD, the site is at theoretical risk of flood depths up to 4.8m AOD.

It should be noted that the breach modelling is a speculative model based on both the structural failure of the River Humber flood defences as well as climate change up to the year 2115.

The defences were breached within the 2013 floods, with the site not being affected. The extent of this flooding is identified by the hatching on the tidal breach point map.

The flooding experienced within the 2013 floods was the most significant tidal surge since 1953, impacting local residential, commercial, and educational developments as well as major infrastructure over Barton, Barrow Haven and New Holland area.

The Environment Agency are working to adapt and improve flood defences to increase flood resilience and reduce further flooding incidents like the one experienced in 2013.

As the development site was not affected during the severe 2013 flooding and the Environment Agency are working to improve and maintain the local flood defences through alleviation schemes, it demonstrates that the site is at a reduced risk of tidal flooding.

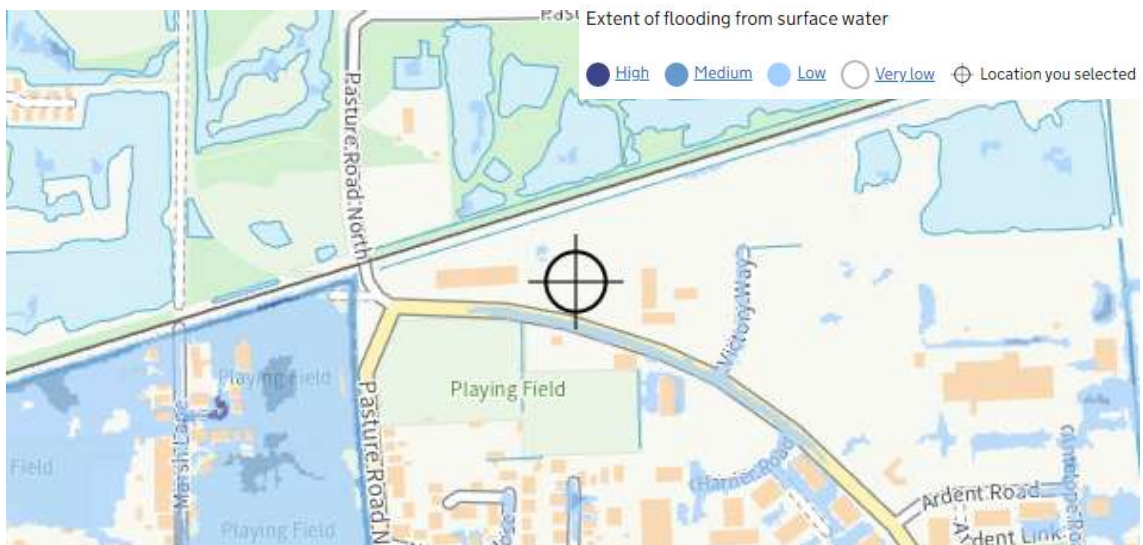
Therefore, the site risk from fluvial flooding is considered moderate.

6.3 **Pluvial Flooding**

Surface water flood risk has recently been assessed on a national level by The Environment Agency. Maps were released in December 2013, which are some of the most comprehensive surface water flood risk maps in the world.

'The Surface Water mapping involves cutting edge technology, with flood experts using models to observe how rain water flows and ponds. Then producing maps that take local topography, weather patterns and historical data into account.'

The Environment Agency surface water flood risk map shown below shows the site to be at **very low** risk of surface water flooding.



Environment Agency Surface Water Flood Risk Map

This means the site has an annual probability of pluvial flooding of less than 0.1%.

Therefore, the site risk from pluvial flooding is considered negligible.

6.4 **Reservoir Flooding**

As identified within the below Environment Agency reservoir flood risk map, the site is identified as not being at risk of reservoir flooding.



Environment Agency Reservoir Flood Risk Map

Therefore, the site risk from reservoir flooding is considered negligible.

6.5 Historic Flooding

As identified within the North Lincolnshire historic flooding maps, the site is not located within an area of historic flooding.



North Lincs Historic Flood Risk Map

As demonstrated above, the site has not historically flooded.

6.6 Sewer Flooding

The topographical survey of the development identifies no drainage system within the site boundary.

The drainage design for the development will be in accordance with non-statutory guidance and provide attenuation and a restricted discharge rate.

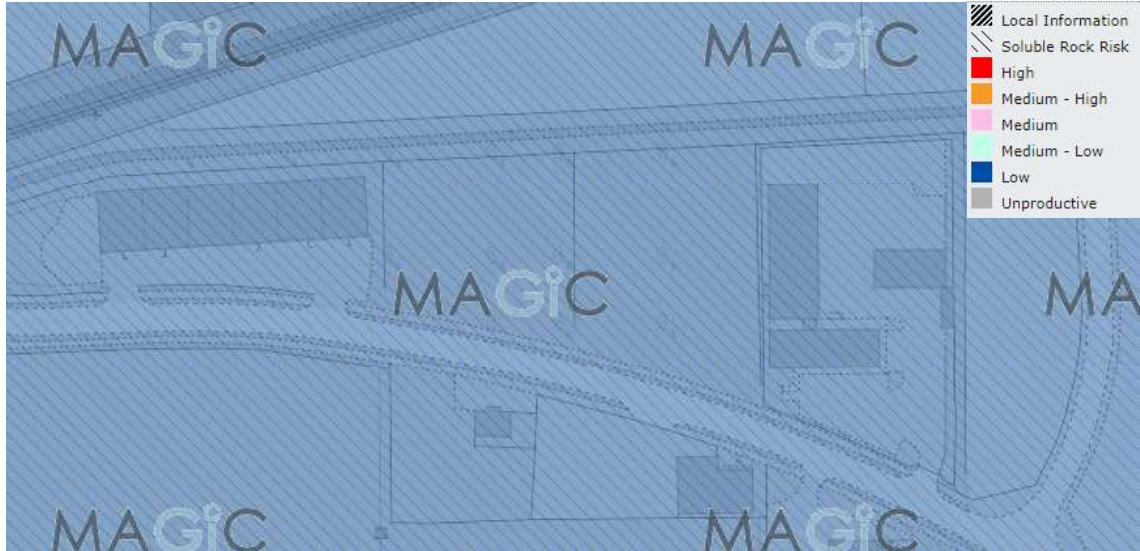
The site will be designed to contain all surface water up to a 1:100 year event +40% climate change below ground.

Therefore, the site risk from sewer flooding is considered negligible.

6.7 Groundwater Flooding

Groundwater flooding is caused by rainfall which causes the water table below the site rise and breach ground level.

The Defra Magic interactive map has been used to assess groundwater vulnerability of development.



Defra Historic Flood Risk Map

As shown above, the groundwater vulnerability of the site is 'low'.

Therefore, the site risk from groundwater flooding is considered low.

7.0 Finished Floor Level / Flood Resilience Proposals

In accordance with the North Lincolnshire Standing Advice and SFRA, the matrix should be used as guidance for finished floor levels.

The advice matrix uses the vulnerability classification along with the tidal breach map to provide development guidance.

As the site classifies as 'less vulnerable' and 'danger to most', the guidance advises that the finished floor levels are raised as high as practically possible and adopt suitable flood resistance/resilience measures if this is below the flood depth.

Section 6.2 details a theoretical flood risk depth of 1.0m - 1.6m above site level. As the average site level is 3.2m AOD, the site is at theoretical risk of flooding up to 4.8m AOD.

As it is not feasible to raise finished floor levels 1.6m above the site, it is deemed appropriate to raise flood levels to 3.5m AOD, 300mm above average site levels.

Moreover, as the flooding could reach 1.3m above proposed finished floor levels, flood proofing measures would be structurally unfeasible.

Consequently, it is proposed to incorporate flood resilience measures up to the level of flooding of 4.8m AOD.

Additionally, a place of safety will be provided within the units at a minimum level of 5.4m AOD.

8.0 **Summary and Recommendation**

The FRA has shown that the site has a varying flood risk, varying from negligible to high. The flood risk to the site is summarised below.

Fluvial	= Moderate
Fluvial Breach	= High
Pluvial	= Negligible
Reservoir	= Negligible
Sewer	= Negligible
Groundwater	= Low

As the development is at theoretical risk of flood depths up to 1.6m deep, it is unfeasible to raise the finished floor levels above this level.

Consequently, it is proposed to raise finished floor levels 300mm above average site level to 3.5m AOD, while incorporating 1.3m of flood resilience measures up to a level of 4.8m AOD to account for the possible flood risk depth.

Additionally, to ensure personnel safety in the event of a flood, a place of safety will be provided at or above 5.4m AOD.

The development owners can sign up to the Environment Agency flood warning scheme through following link:

<https://www.gov.uk/sign-up-for-flood-warnings>

In addition, the development owners should prepare a personal flood plan. A template can be found within the following link:

<https://www.gov.uk/government/publications/personal-flood-plan>

FFL: 3.500m AOD (300mm Raised Above Average Site)

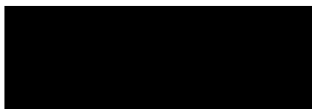
Flood Resilience: Up To 4.8m AOD (1.3m Above FFL)

Place of Safety: Above 5.4m AOD (1.9m Above FFL)

1. Plasterboard laid horizontal 1.5m above FFL.
2. Electrical fitting & supplies shall be up to 1.5m above FFL.
3. Any external air bricks shall be fitted with flood protection devices, or alternatively, accept flood finishes would be sacrificial in the unlikely event of a flood.
4. New floor finishes shall be tiles with water resistant grout.
5. Non-return valves on final discharge point to prevent back-flows from surcharged sewers.

From GGP Consult

Report Written by:-



D. Cook
Project Engineer

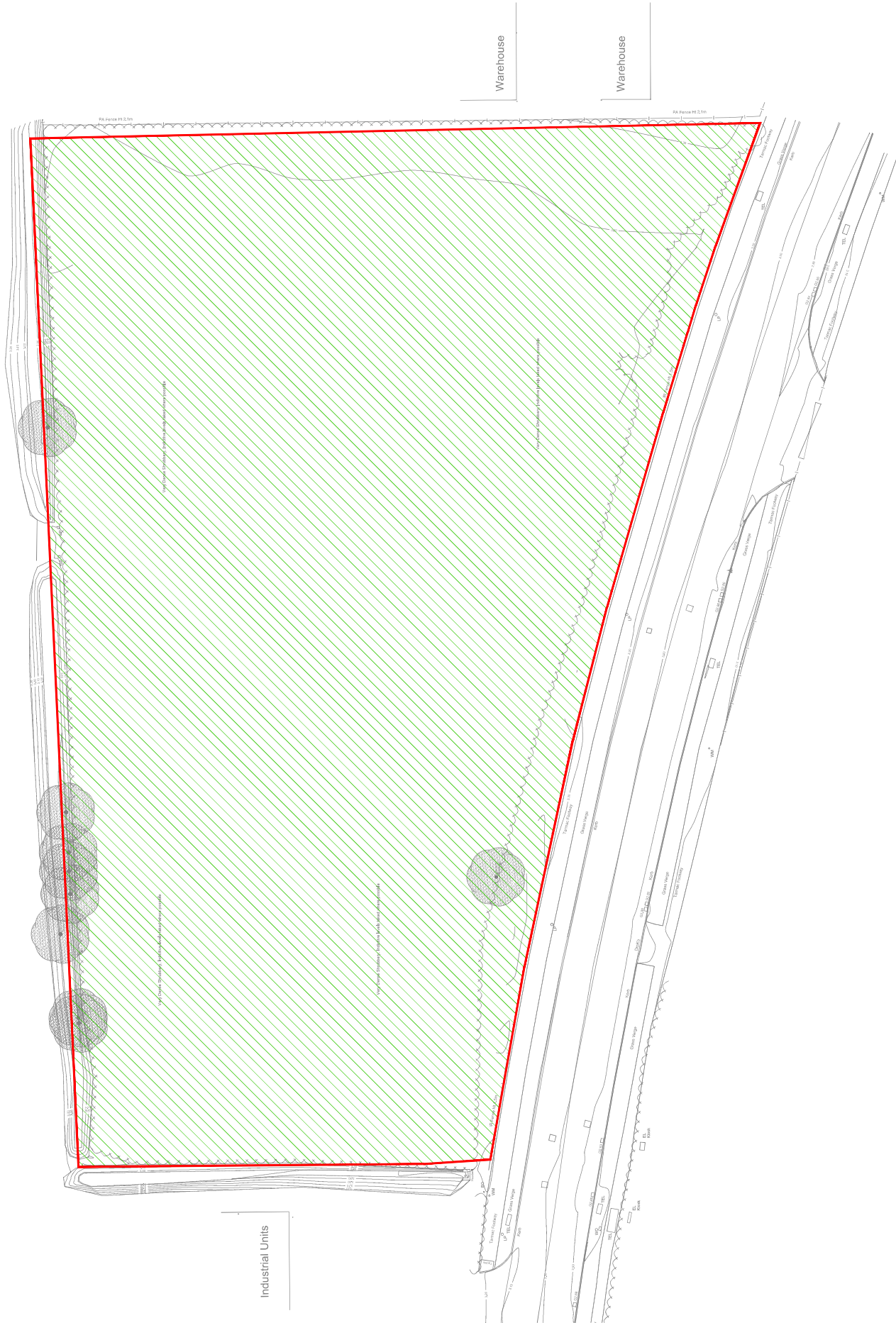
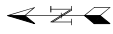
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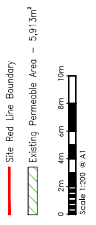
J. H. Collins BSc. (Hons),
MCIWEM

Senior Civil Engineer
Drainage & Infrastructure

APPENDIX I
Existing Site Plan



- NOTES:
1. All dimensions must be checked on site and not scaled from this drawing.
 2. The Contractor shall make a survey of the site and confirm the location of all existing structures and levels necessary for the proper fabrication of the structure as indicated.
 3. All levels shown on this drawing are relative to 29459/100 Series Drawings.
 4. This drawing is to be read in conjunction with all existing invert levels are to be confirmed by the Contractor prior to construction. Connection subject to approval.

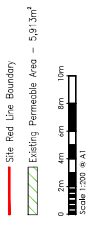


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Drawn by	Checked by	Issued For Approval	Date
		A. 10/05/24	10/05/24

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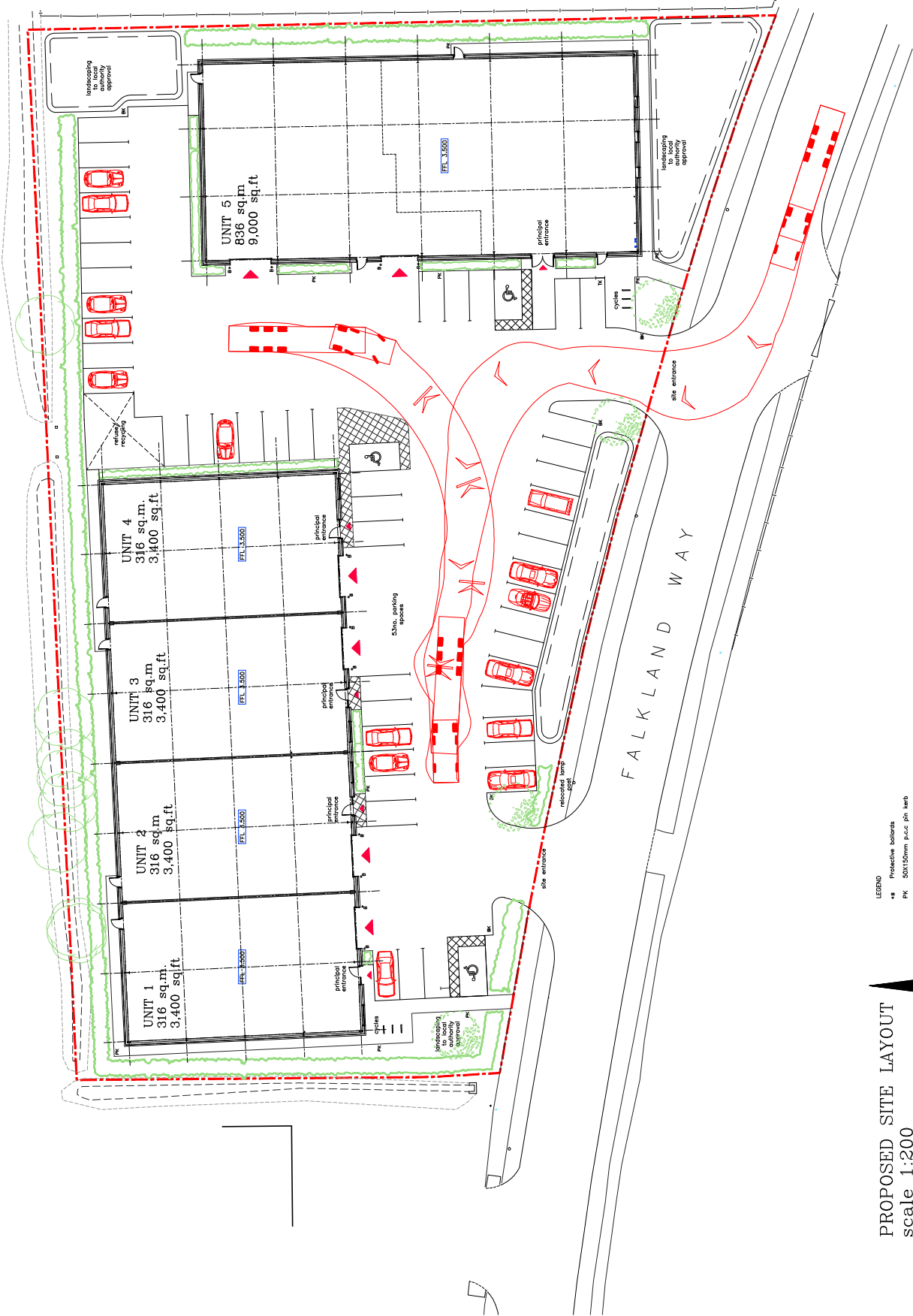
Drawing Title	Existing Permeable Area
Status	APPROVAL
Scale	1:200 @ A1
Date	June 2022
Drawn By	Bernard Cook
Checked	JHC
Approved	JHC
Draw No.	29459/101
Rev	A

APPENDIX II

Topographical Survey

APPENDIX III

Proposed Site Layout



REVISION C : 31 JULY 2022 :
NOTES ADDED TO TRACKED FLOOR LEVEL IN ACCORDANCE WITH FLOOD RISK ASSESSMENT.
UPDATED TRACK PLOT ADDED. INDICATIVE POSITIONS OF TRY SWALES ADDED. GDD

REVISION B : 27 JUNE 2022 :
REVISION A : 14 JUNE 2022 :
CLADDING DETAILING AMENDED ON PLANS TO VERTICAL PROFILE COMPOSITE CLADDING. GDD

REVISION A : 14 JUNE 2022 :
CLADDING DETAILING AMENDED ON PLANS TO VERTICAL PROFILE COMPOSITE CLADDING. GDD

Count levels in walls and foundations to be this surface plus 100mm concrete
and any discrepancies confirmed to architect. This drawing is to be read in conjunction
with all other architectural and structural engineers drawings.

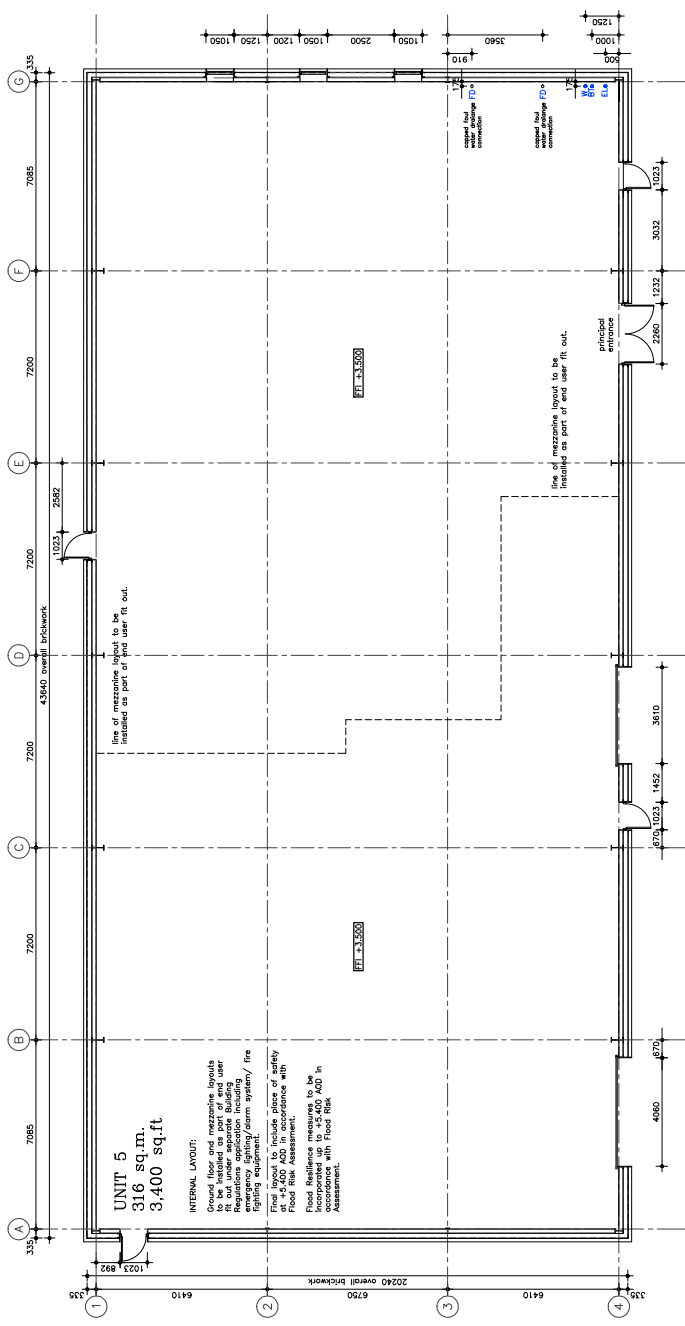
preliminary issue

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PROPOSED SITE DEVELOPMENT
PLOT 24, FALKLAND WAY, BARTON-UPON-HUMBER
for VENTURE BUSINESS SPACE LIMITED

PROPOSED SITE LAYOUT 1:200@A1

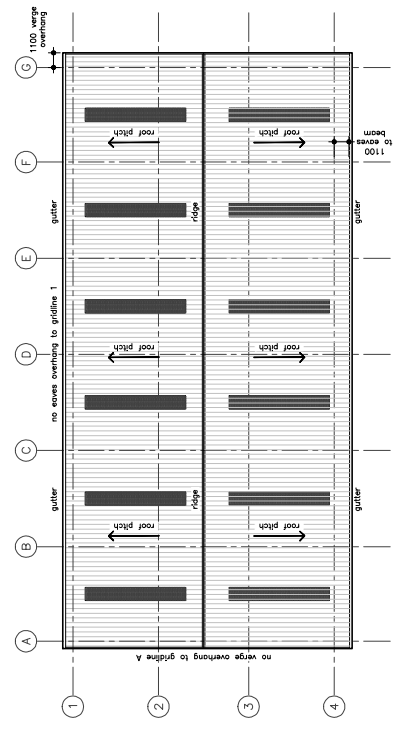
Date:	10/05/22	Drawn:	GDD	Checked:	
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UNIT 5
316 sq.m.
3,400 sq.ft

INTERNAL LAYOUT:
Ground floor and mezzanine layouts are shown. The mezzanine is to be installed as part of the end user fit out. The ground floor layout includes a fire alarm system, fire alarm control panel, and fire alarm sounder. The fire alarm system is to be installed in accordance with the fire alarm system specification. The fire alarm control panel and sounder are to be installed in accordance with the fire alarm system specification. The fire alarm system is to be incorporated into the fire alarm system assessment. The fire alarm system is to be incorporated into the fire alarm system assessment.

UNIT 5 PROPOSED GROUND FLOOR PLAN
scale 1:100



PROPOSED ROOF PLAN
scale 1:200




ROOF CONSTRUCTION to be Kingspan KS 1000 RW composite roof decking. Cladding to be steel external sheet with XL insulation core of LVCB approved pig core thickness 115mm construction. Also include additional waterproofing on roof eaves, fascias, parapets and chimneys to provide a carried out eave in accordance with the manufacturers printed components and fixings.

ROOFLIGHTS: rooflights to be Kingspan Day-Lite Trapezoidal roof sheet. Rooflights to be installed in accordance with the manufacturers printed components and fixings. Include all fixings, tapes and sealants to provide a weathertight construction achieving a 'U' value of 1.9W/m²K.

MANSAFE SYSTEM: to be provided to roof area to allow for inspection and maintenance. System to be designed and installed in accordance with the manufacturers printed components and fixings. System to be designed and installed in accordance with current health and safety requirements.

REVISION C.1: 01 JULY 2022 :
MISPLACED TO CORRECT FLOOR LEVEL - PLACE OF SAFETY AND FLOOD RESILIENCE ASSESSMENT.
REVISION B.2: 07 JUNE 2022 :
SETBACK OF SHUTTER DOORS, ENTRANCE DOORS, ADDITIONAL EXIT DOOR, WINDOWS & CONNECTIONS TO MEZZANINE TO BE INSTALLED AS PART OF END USER FIT OUT NOTED. ALL TO CO-ORDINATE WITH END USER INDICATIVE LAYOUT.
REVISION A.1: 14 JUNE 2022 :
CLADDING DETAILING AMENDED ON PLAN TO VERTICAL PROFILE COMPOSITE CLADDING. GDD

Contract works. All utilities and specifications to be checked prior to works commencing and any discrepancies confirmed to architect. This drawing is to be read in conjunction with all other architectural and structural engineers drawings.



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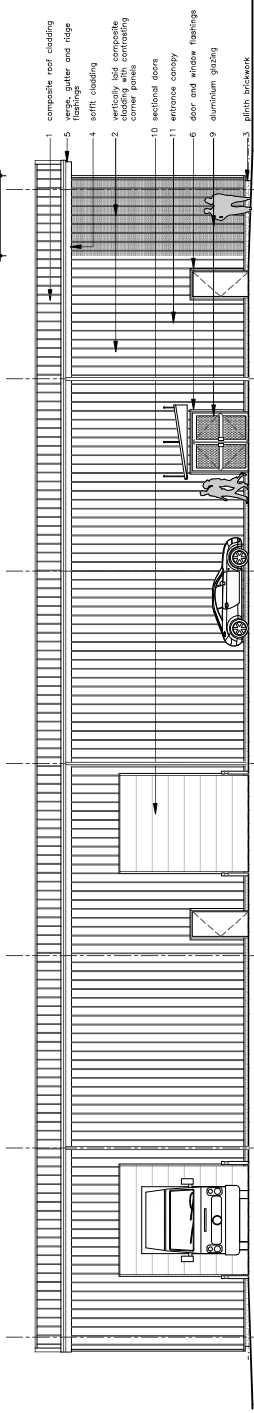
PROPOSED SITE DEVELOPMENT
PLOT 24, FALKLAND WAY, BARTON-UPON-HUMBER
for VENTURE BUSINESS SPACE LIMITED

UNIT 5
PROPOSED GROUND FLOOR PLAN
1:100@A1
1:200@A1

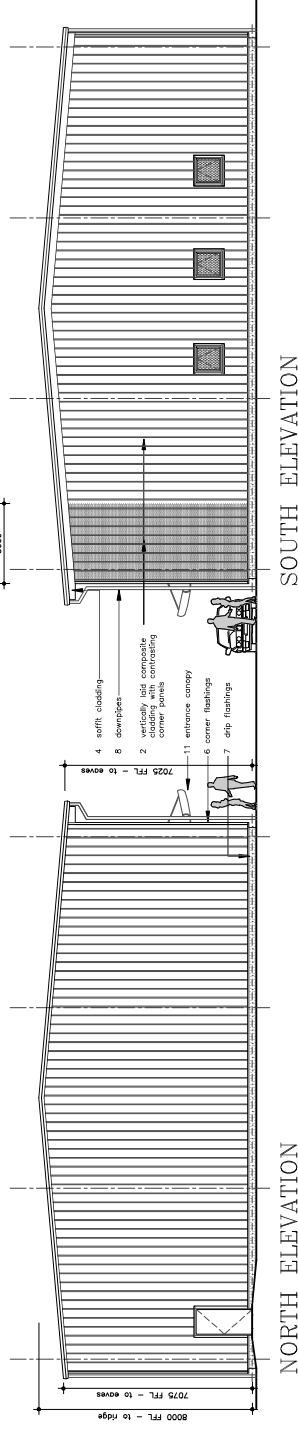
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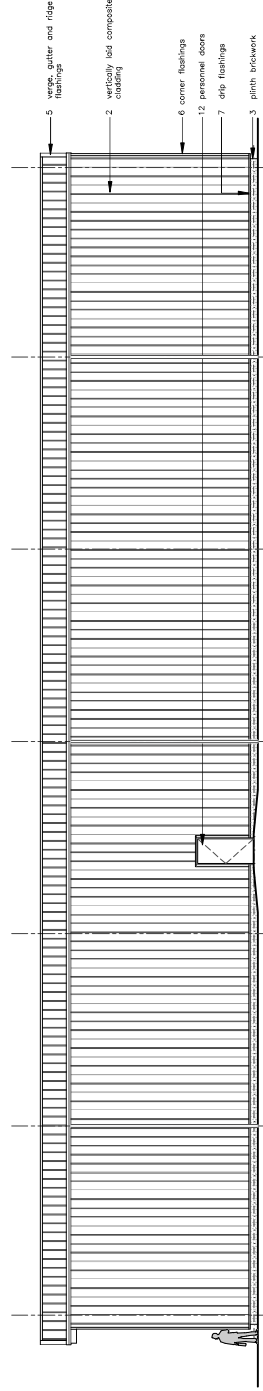


UNIT 5 PROPOSED WEST ELEVATION
scale 1:100



NORTH ELEVATION

SOUTH ELEVATION



EAST ELEVATION

EXTERNAL MATERIALS

- 1 Composite metal roof cladding, including 100% non-fragile roof lights, to be Tata Trimmet 333 or equal with Colourscoat HFS200 Ultra
COLOUR: Doveswing Grey B310A05.
- 2 Vertically laid composite wall cladding with contrasting corner panels to be Tata Trimmet 333 or equal with Colourscoat HFS200 Ultra finish.
COLOUR: Black RAL 9005 to contrasting corner panels.
- 3 Plinth brickwork to be Insox. Atlas Smooth Blue or equal.
- 4 Profiled metal soffit cladding to roof overhangs to be Colourscoat HFS200 Ultra finish.
COLOUR: Doveswing Grey RAL 7002.
- 5 Pressed metal colour coated verges, gutter and ridge flashings to be Colourscoat HFS200 Ultra finish.
COLOUR: Black RAL 9005.
- 6 Polymer powder coated aluminium glazed entrance screen and principal entrance door.
COLOUR: Black RAL 9005.
- 7 Proprietary, sectional, insulated doors with metal foams, factory finished powder coated aluminium glazing.
COLOUR: Black RAL 9005.
- 8 Stainless steel canopy to principal entrance doors.
COLOUR: Black RAL 9005.
- 9 Proprietary, sectional, insulated doors with metal foams, factory finished powder coated aluminium glazing.
COLOUR: Black RAL 9005.
- 10 Stainless steel canopy to principal entrance doors.
COLOUR: Black RAL 9005.
- 11 Proprietary, sectional, insulated doors with metal foams, factory finished powder coated aluminium glazing.
COLOUR: Black RAL 9005.
- 12 Stainless steel canopy to principal entrance doors.
COLOUR: Black RAL 9005.

REVISION 6: 27 JUNE 2022
SETBACK OUT OF SHUTTER DOORS, ENTRANCE DOORS & ADDITIONAL EXIT DOOR NOTED TO BE SETBACK FROM CURB LINE TO MATCH EXISTING BUILDING. ADDITIONAL SETBACK ELEVATION TO COORDINATE WITH END USER INDICATIVE LAYOUT. EXIT OF GARAGE CORNER CONTRASTING CLADDING REDUCED TO SUIT DOOR/WINDOW SETTING OUT.

REVISION 5: 14 JUNE 2022
CLADDING DETAILS AMENDED TO VERTICAL PROFILE COMPOSITE CLADDING WITH CONTRASTING CORNER PANEL.

Client works in accordance with the information in this document. The contractor and any subcontractors are to be responsible for the construction of the building and any discrepancies confirmed to architect. This drawing is to be used in conjunction with all other architectural and structural engineers drawings.



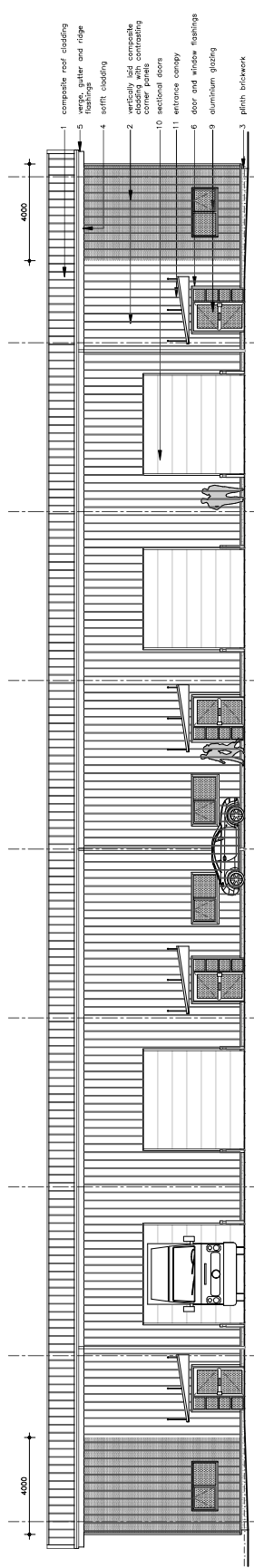
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PROPOSED SITE DEVELOPMENT
PLOT 24, FALKLAND WAY, BARTON-UPON-HUMBER
for VENTURE BUSINESS SPACE LIMITED

UNIT 5
PROPOSED ELEVATIONS 1:100&A1

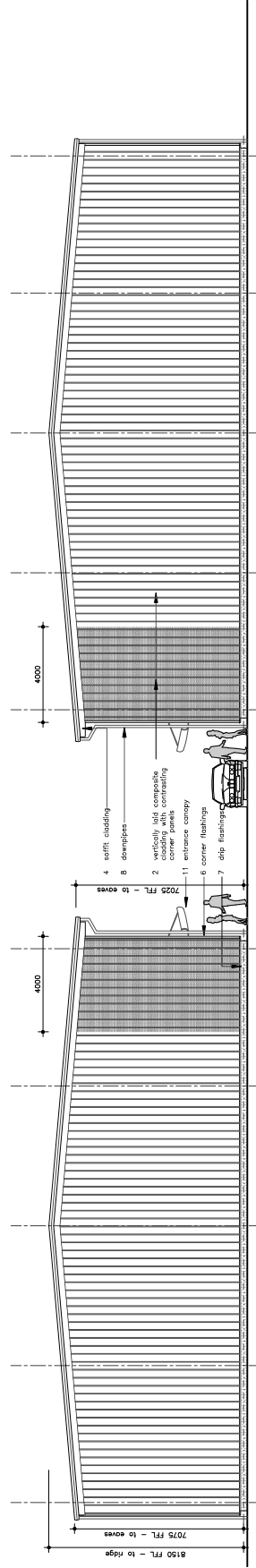
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preliminary issue



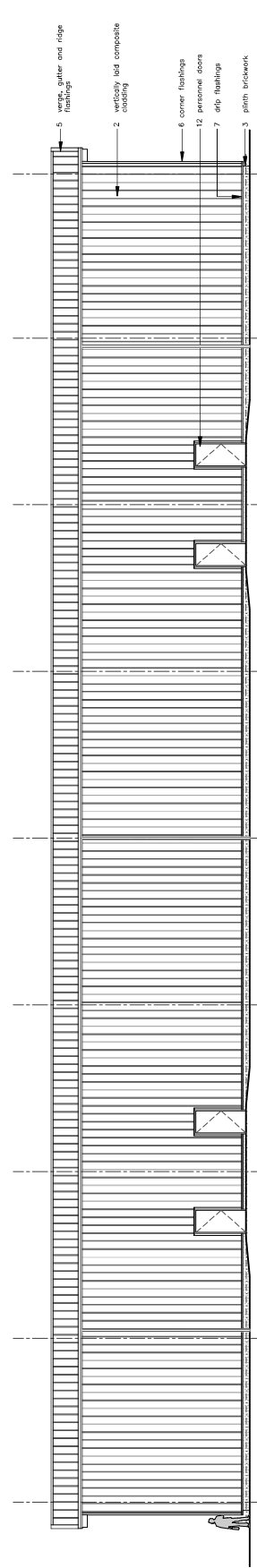
UNIT 1-4 PROPOSED SOUTH ELEVATION

scale 1:100



WEST ELEVATION

EAST ELEVATION



NORTH ELEVATION

EXTERNAL MATERIALS

- 1 Composite metal roof cladding, including 100% non-fragile roof lights, to be Tata Trismet 333 or equal with Colourscoat HFS200 Ultra
COLOUR: Doveswing Grey B310A05.
- 2 Vertically laid composite wall cladding with contrasting corner panels to be Tata Trismet 333 or equal with Colourscoat HFS200 Ultra finish.
COLOUR: Black RAL 9005 to contrasting corner panels.
- 3 Plinth brickwork to be Bataco Atlas Smooth Blue or equal.
COLOUR: Bataco Atlas Smooth Blue or equal.
- 4 Profiled metal soffit cladding to roof overhangs to be Colourscoat HFS200 Ultra finish.
COLOUR: Bataco Atlas Smooth Blue or equal.
- 5 Pressed metal colour coated verges, gutter and ridge flashings to be Colourscoat HFS200 Ultra finish.
COLOUR: Black RAL 9005.
- 6 Vertically laid composite cladding with contrasting corner panels to be Tata Trismet 333 or equal with Colourscoat HFS200 Ultra finish.
COLOUR: Black RAL 9005 to main panels.
- 7 Pressed metal colour coated verges, gutter and ridge flashings to base of cladding to be Colourscoat HFS200 Ultra finish.
COLOUR: Black RAL 9005.
- 8 Polished stainless steel powder coated downpipes.
COLOUR: Black RAL 9005.
- 9 Polyester powder coated aluminium glazed entrance screen and principal entrance doors.
COLOUR: Black RAL 9005.
- 10 High pressure laminate, sectional insulated doors with metal faces, factory finished powder coated.
COLOUR: Black RAL 9005.
- 11 Stainless steel canopy to principal entrance doors.
- 12 Proprietary steel پوست with factory finish.
COLOUR: Black RAL 9005.

REVISION A.1, 14 JUNE 2022 - CLADDING DETAILS AMENDED TO VERTICAL PROFILE COMPOSITE CLADDING WITH CONTRASTING CORNER PANEL.

GDD

Do not scale. All widths and dimensions to be taken from this drawing. No work commencing and any discrepancies confirmed to architect. This drawing is to be used in conjunction with all other architectural and structural engineers drawings.



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PROPOSED SITE DEVELOPMENT
PLOT 24, FALKLAND WAY, BARTON-UPON-HUMBER
for VENTURE BUSINESS SPACE LIMITED

UNITS 1-4
PROPOSED ELEVATIONS
1:100&A1

Date:	27/05/22	Drawn:	AW	Checked:	
					8648s/PA04A

preliminary issue