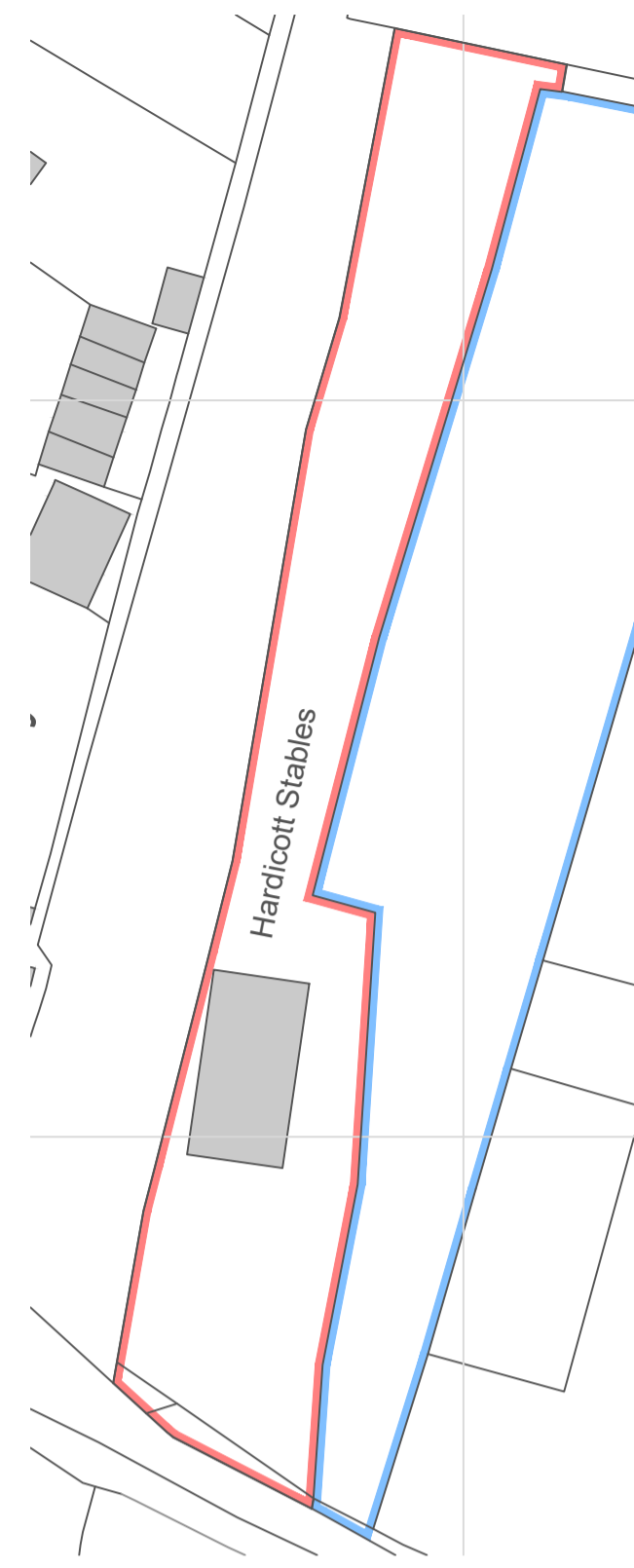


Proposed Site Layout - Scale 1:200



Existing Block Plan Scale 1:500



Proposed Block Plan Scale 1:500

Proposed Materials:
 face brickwork to match lower portion of existing dwelling
 Grey uPVC doors to match existing dwelling
 Dark grey plain tiles, colour and style to match existing dwelling

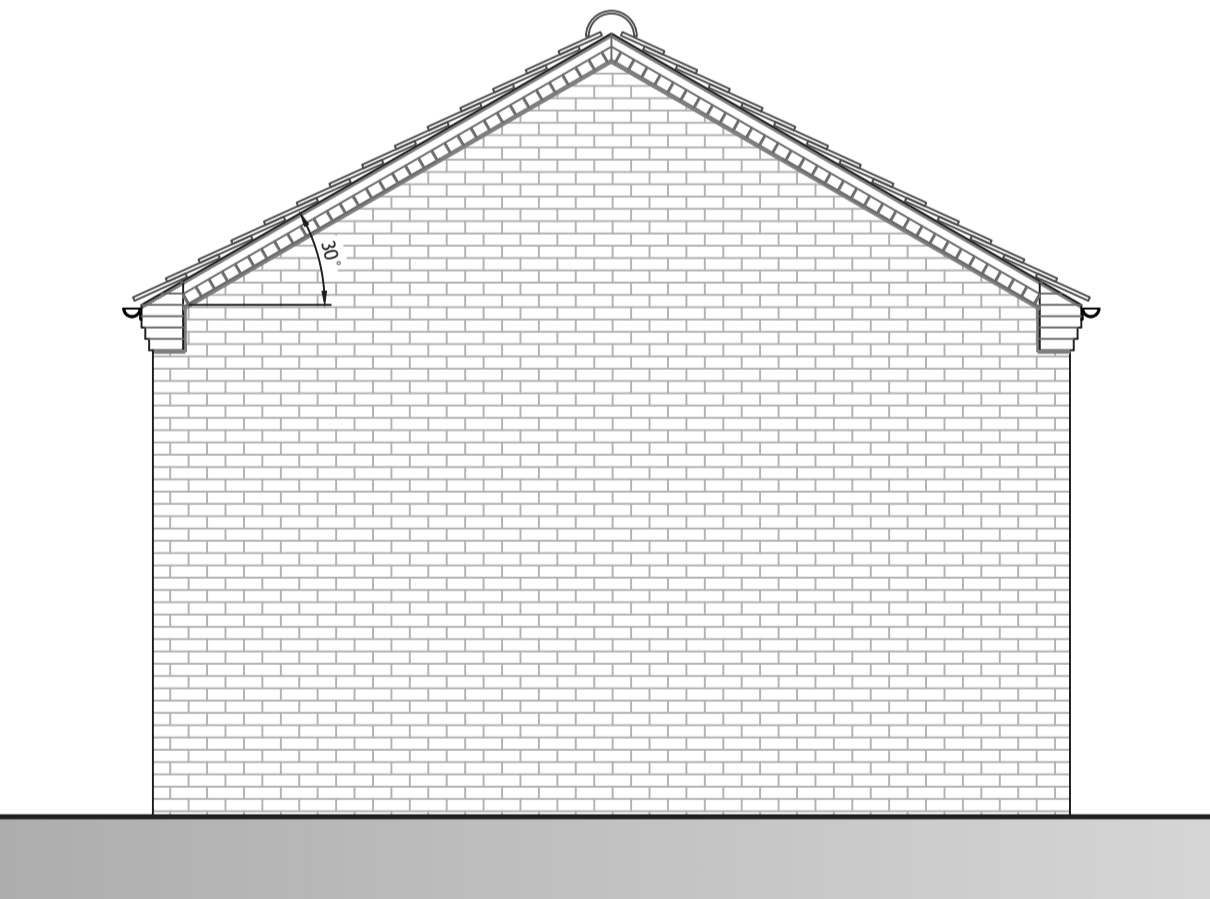


Produced on 17 November 2025 from the Ordnance Survey National Geographic Database and incorporating surveyed revision available at this date.
 This map shows the area bounded by 47528 39944, 47520 39944, 47520 39946, 47528 39946, 47528 39944.
 Crown copyright and database right 2025 OS 10006115. Supplied by copyright to WHMarrum.com a licensed Ordnance Survey partner (OS 10006115).
 Data licence expires 17 November 2026. UTM zone reference: 32Q/1340541/79216

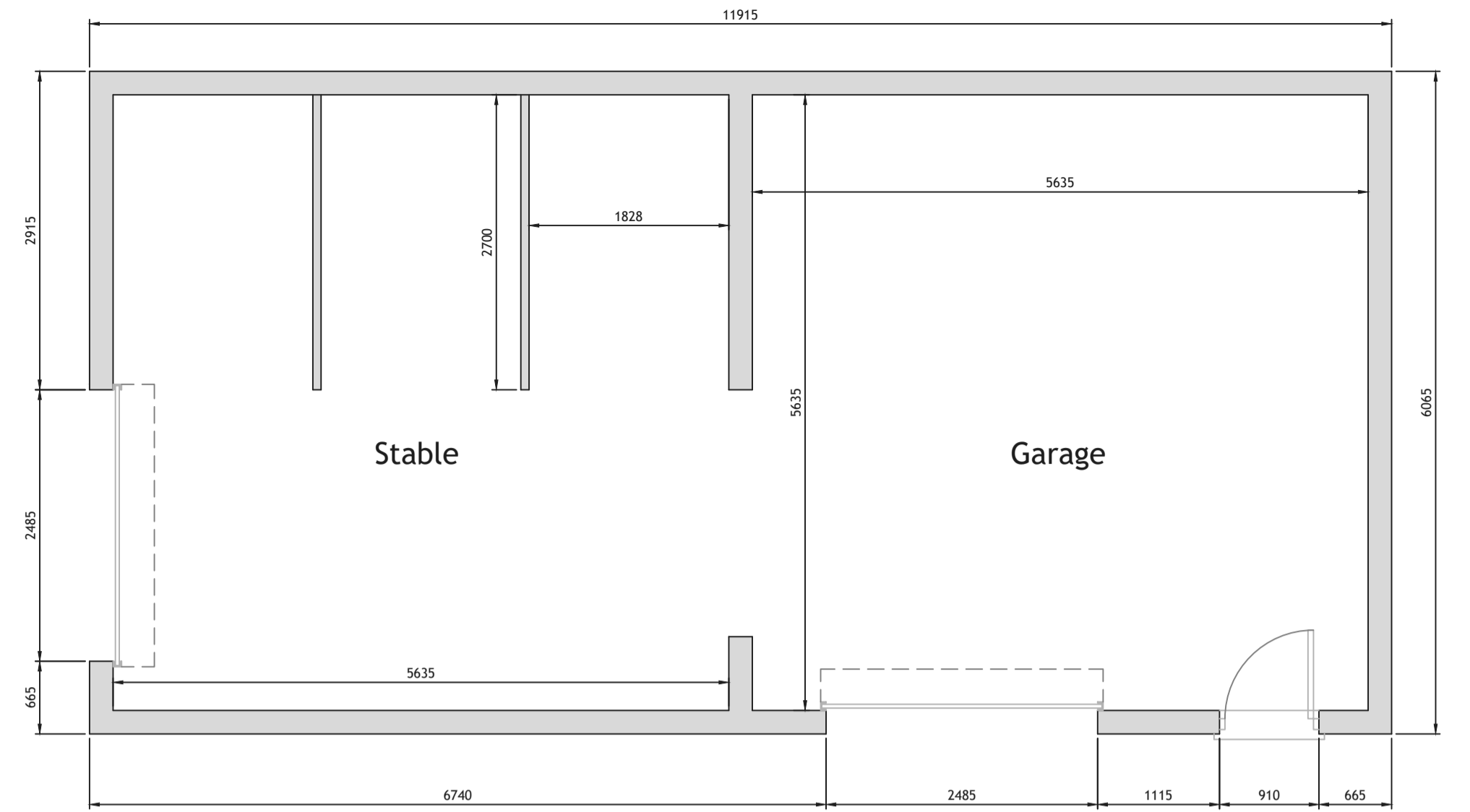
Location Plan - Scale 1:1250



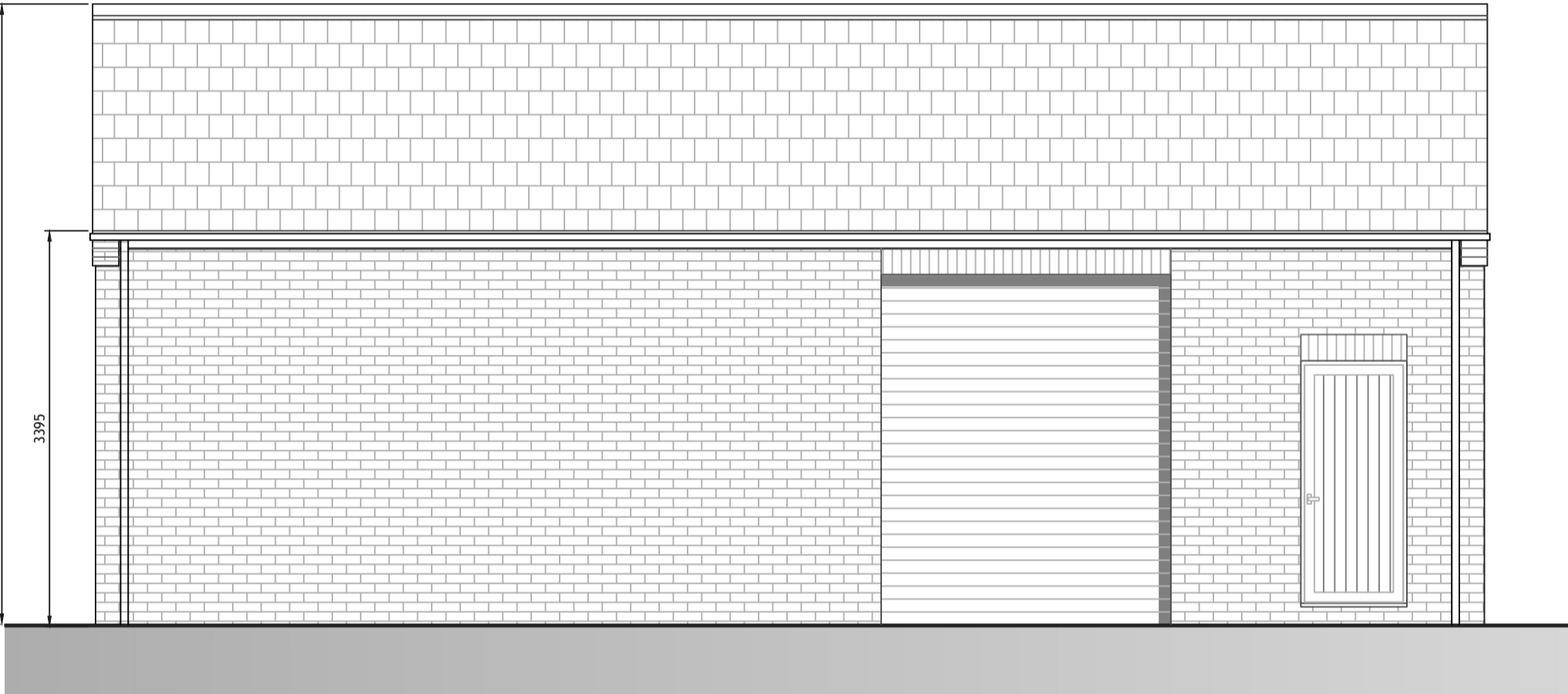
Proposed South Elevation



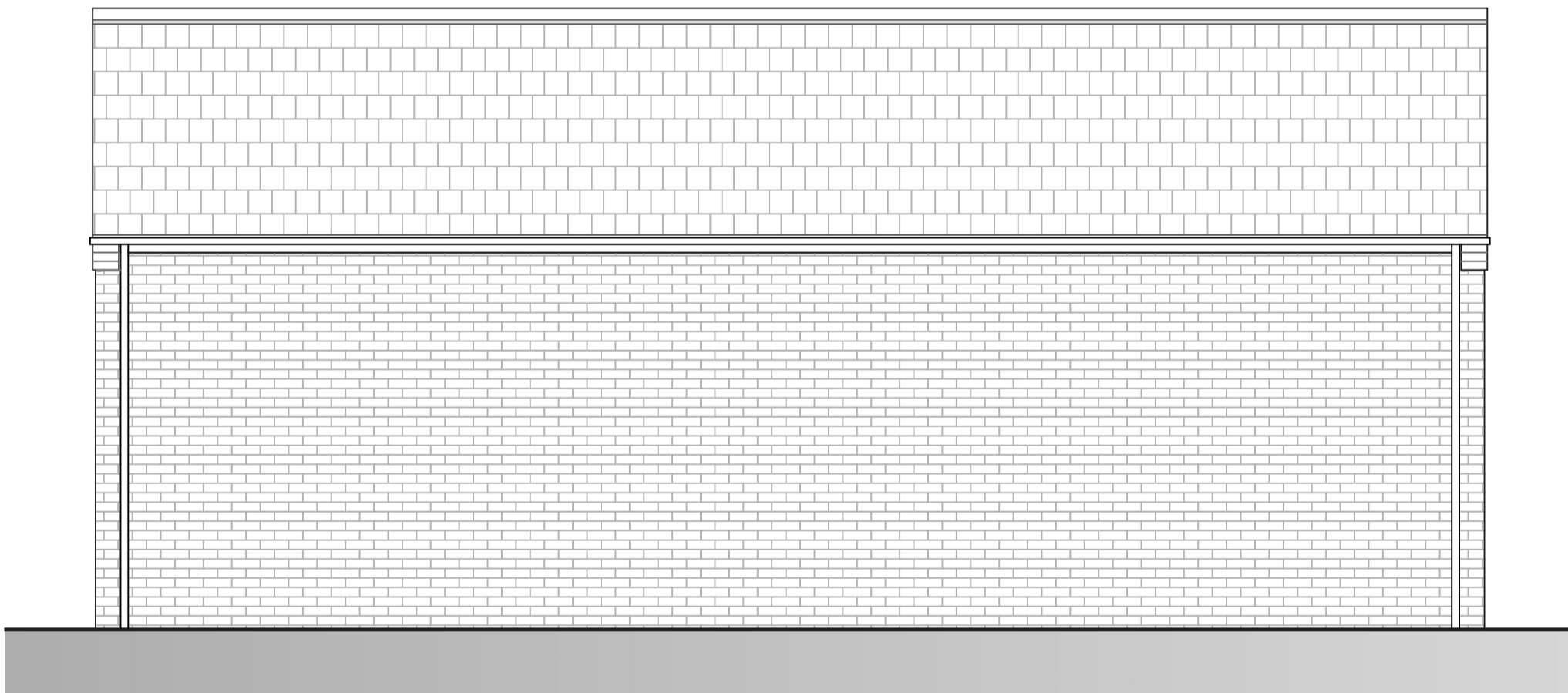
Proposed North Elevation



Proposed Floorplan

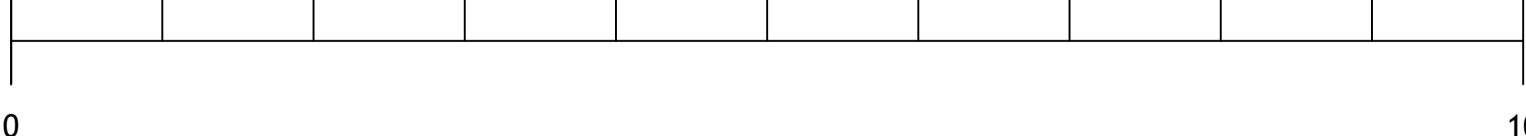


Proposed East Elevation

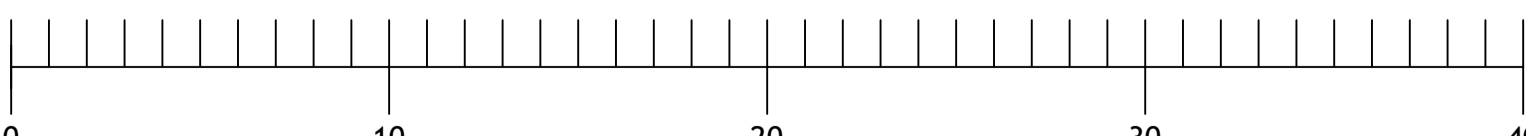


Proposed West Elevation

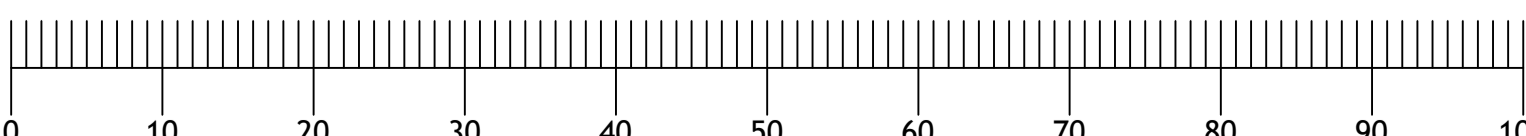
Scale Bar - 1:50



Scale Bar - 1:200



Scale Bar - 1:500



NOTES:
 All dimensions & details given on this drawing are to be checked and verified on site prior to works being undertaken. Any discrepancies and/or variations to the specifications within these drawings or associated documents are to be notified.
 Do not scale from these drawings.
 Drawings intended for Planning purposes only.

Address - Hardicott Stables, Sandbeds Lane, Westwoodside, DN9 2DW.
Title - Floorplan, Elevations, Site, Block & Location Plans
Stage - Planning
Drawing No. - HARDICOTT.01
Drawn - December 2025
Paper Size - A1
Revision -
Scale 1:50 & as noted